



**Planning Commission
Regular Meeting
July 16, 2019
7:00 p.m.**

1. CALL MEETING TO ORDER
2. PLEDGE OF ALLEGIANCE
3. ROLL CALL
4. APPROVAL OF MINUTES
- June 18, 2019
5. CORRESPONDENCE / BOARD REPORTS
6. APPROVAL OF AGENDA
7. PUBLIC COMMENT: Restricted to (3) minutes regarding items not on this agenda
8. NEW BUSINESS
 - A. SUP 2019-04 Public Hearing, Group Day Care located at 5115 S. Stirrup Ln.
Owner: Julie Recker (Review and recommend approval/denial of special use permit to the Board of Trustees)
 - B. REZ 2019-04 Public Hearing, Rezone R3 to OS Medical Facility PID 14-014-20-038-01, located interior ¼ cor. Owner: Rosewood Development Co. LLC
(Recommendation to Board of Trustees)
 - C. SPR 2019-07 Renaissance Public School Academy expansion
9. OTHER BUSINESS
10. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue
11. FINAL BOARD COMMENT
12. ADJOURNMENT

CHARTER TOWNSHIP OF UNION
Planning Commission
Regular Meeting

A regular meeting of the Charter Township of Union Planning Commission was held on June 18, 2019 at the Township Hall.

Meeting was called to order at 7:00 p.m.

Roll Call

Present: Buckley, Clerk Cody, Darin, Fuller, Mielke, Shingles, Squattrito, and Webster

Excused: LaBelle

Others Present

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

Approval of Minutes

Webster moved **Cody** supported the approval of the May 21, 2019 regular meeting as presented.

Vote: Ayes: 8 Nays: 0. Motion carried.

Correspondence / Reports

Cody – Board of Trustee updates.

Mielke – ZBA updates.

Approval of Agenda

Webster moved **Buckley** supported approval of the agenda as presented. **Vote: Ayes: 8 Nays 0.**

Motion carried.

Public Comment – 7:06 p.m.

No comments were offered.

New Business

A. SUB 2019-01 Final Plat Review Four Hacks LLC River Rd.

Mielke moved **Cody** supported to approve the final plat review and recommend approval to the Board of Trustees. **Vote: Ayes: 8 Nays 0. Motion carried.**

B. SUP 2019-04 Public and Institutional use. Isabella Conservation District as authorized by owner Steve Gramza

Introduction by Township Planner. Stated that the applicant is requesting special use for a public and institutional use for a government building, constructing a 60'x100' building on AG property.

Public Hearing – Open 7:17 p.m.

Roger Fuller, 292 S. Mission Rd- Not in favor of project

Mike Walton, 4085 E. Valley Rd. – Not in favor of project

Robert Gilpin, 4103 E. Valley Rd. – Not in favor of project

Gayle Beadle, 208 S. Mission Rd - Not in favor of project
Melissa Beadle, 208 S. Mission Rd. – Not in favor of project
Public Hearing-Closed 7:35 p.m.

Pete Lorenz representative of applicant stated reasons for request for need for special use. Crystal Beutler, Isabella County Conservation District was available to answer questions.

The Planning Commission reviewed section 30.3 (1-10) of the zoning ordinance and 30.4.Q Special Uses Permitted – Public and Institutional Uses (1-4), as well as, referencing section 30.4.B.2 (a-d) Driveways and parking areas as specified.

Fuller moved **Shingles** supported to deny SUP 2019-04, stating that the application does not comply the General Requirements for special uses section 30.3A.1,2, & 4. Also stating that the parcel is outside the growth boundary and protection of AG property is important, as stated in the Master Plan. **Vote: Ayes: 6 Nays: 2 Motion carried.**

C. TXT 2019-01 Solar Energy Systems Regulations Lone Maple Development, LLC Property located at 5889 E. Broadway (Recommend text amendment of the Zoning Ordinance to the Board of Trustees)

Webster moved **Darin** supported to recommend adoption of the Solar Text Ordinance, correcting any grammatical or typo errors in the proposed document, to the Board of Trustees. **Vote: Ayes: 8 Nays: 0. Motion carried.**

D. SPR 2019-06 Mitchell's Deli/McGuirk Mini Storage. Deli/Convenience Store expansion and Filling Station. (Review and approve final site plan)

*Recusal by Fuller, per section VII. Conflict of Interest of the Planning Commissions adopted By-Laws

Mr. Bebee, representative of the applicant presented SPR 2019-06 noting that additional information has been requested by the Township Public Services Department and confirmed that all other outside agencies have been approved.

Cody moved **Mielke** supported to recommend approval of SPR 2019-06 with the following conditions: approval is obtained by the Township Public Services Department, a lighting plan is submitted and approved by Township Staff, and the position and enclosure of a dumpster is added to the site plan and approved by Township Staff. **Vote: Ayes: 7 Nays: 0 Motion carried.**

E. SUP 2018-03 Reconsider Special Use Bank with a Drive Thru located at 2000 Parkland Rd. Owner: Central Development Group LLC

Webster moved **Buckley** supported to revoke SUP 2018-03, per the request of the applicant. **Vote: Ayes: 8 Nays: 0. Motion carried.**

Other Business

Township Planner will be email confirmation to the Planning Commissioners of a Special Meeting to be held on June 25th, 6-8 p.m. to Discuss Sections 6-10 of the Zoning Ordinance rewrite.

Extended Public Comment

No comments were offered.

Final Board Comment

Mielke – Commented on Commissioner Buckley’s concerns from tonight’s meeting.

Squattrito – Suggested that when applying for SUP’s that applicants talk with neighbors and educate/answer questions about their project.

Adjournment – Chairman Squattrito adjourned the meeting at 9:39 p.m.

APPROVED BY:

Alex Fuller - Secretary
Mike Darin – Vice Secretary

(Recorded by Jennifer Loveberry)

DRAFT

Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative	Lisa	Cody	11/20/2020
2-Chair	Phil	Squatrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2022
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2022
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2022
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Secretary	Jake	Hunter	12/31/2019
4- Vice Secretary	Andy	Theisen	12/31/2019
5	Taylor	Sheahan-Stahl	12/31/2021
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Liz	Presnell	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2020
2	James	Thering	12/31/2020
3	Bryan	Neyer	12/31/2020
Alt #1	Randy	Golden	1/25/2021
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Don	Long	12/31/2020
2	Mike	Lyon	12/31/2020
3	vacant seat		12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Jakubiec	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2020
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2023
2	James	Zalud	4/14/2023
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2023
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2022
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2023
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2021
2 PC Representative	Denise	Webster	8/15/2020
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2020
5 Member at large	Connie	Bills	8/15/2019



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Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: A) SUP 2019-04 Group Day Care Home located at 5115 Stirrup Dr.

Applicant: Julie M. Recker

Owner: Julie M. Recker

Location: 1963 E. Remus Rd. MT PLEASANT, MI 48858

Current Zoning: R-2B (One and Two Family, Medium Density Residential District)

Adjacent Zoning: R-2B & R-5

Future Land Use/Intent: Residential: After agriculture, this category is the township's predominant land use, and is meant to promote single-family homes on a variety of lot sizes. With new development, subdivision design should protect open space and natural features and limit single driveways onto corridors.

Current Use: Existing one family dwelling structure.

Reason for Request: Group Day-Care Home: A private home where from seven (7) to twelve (12) children are received for care and supervision. This number shall not include more than two (2) children younger than two (2) years old.

History: Parcel is a part of Copper Estates Subdivision approved last decade. This property was recently rezoned in May from R-5 to R-2B so that the owner could seek a SUP for a Group Day Care Home. If approved the owner will need to obtain a dimensional variance as a R-2B parcel.

Objective of board: Within a reasonable time following the public hearing, the Planning Commission shall review the application for the special use permit, testimony received at the public hearing, and other materials submitted in relation to the request and make a recommendation to the Township Board. Approving or denying the special use application shall be in accord with the criteria for approval stated in Section 30.3 and such other standards contained in this Ordinance that relate to the special uses under consideration.

Recommendation from Township Planner

Following a public hearing the Commission will need to review the SUP request from the requirements listed under sections 30.3.A and 30.4.J of the Zoning Ordinance. A site plan is required for a special use. The applicant currently is only seeking approval of the use. Given that the structure being utilized for the use is already built the Commission may decide what kind of site plan if any is required. I would recommend approval of SUP 2019-04 on the condition that a site sketch is staff approved and a dimensional variance obtained.

Peter Gallinat
Township Planner



APPLICATION FOR A SPECIAL USE PERMIT

I (we) Julie M Recker OWNERS OF PROPERTY AT 5115 Stirrup Lane LEGAL DESCRIPTION AS FOLLOWS:

T14N R4W Sec 34 Copper Estates Unit 26

Respectfully request that a determination be made by the Township Board on the following request:

I. Special Use For Group Daycare

II. Junk Yard Permit



Note: Use one of the sections below as appropriate. If space provided is inadequate, use a separate sheet.

I. Special Use Permit is requested for Group Daycare (see attached)

Give reason why you feel permit should be granted: Home has adequate space, neighbors approve, + there is a need in our community

II. Junk Yard Permit requirements are:

Location of property to be used _____

Zoning of the area involved is _____

Zoning of the abutting areas _____



Fees 350.00 Signature of Applicant Julie Recker

Date 6/12/19

INDOOR PLAY SPACE

State requirement: 35 sq ft per child
 $35 \times 12 = 420$ sq ft

Home space:

Living/Dining room: $21.5 \times 18 = 387$ sq ft

Kitchen: $8.5 \times 13 = 110.5$ sq ft

Bedroom: $12 \times 10 = 120$ sq ft

Basement: $24 \times 14 = 364$ sq ft

Total square foot available: 981.5 sq ft

OUTDOOR PLAY SPACE

State requirement for group daycare: 600 sq ft

Home backyard: $60 \times 33 = 1980$ sq ft

My home at 5115 Stirrup Lane currently exceeds the square foot state requirement needed for a group daycare.

- (b) Develop and use language.
 - (c) Develop and use large and small muscles.
 - (d) Use materials and take part in activities which encourage creativity.
 - (e) Learn new ideas and skills.
 - (f) Participate in imaginative play.
 - (g) Rest or sleep, or both.
- (3) All of the following developmentally appropriate opportunities shall be provided daily:
- (a) A balance of active and quiet play, group, and individual activities.
 - (b) Indoor and outdoor play, except during inclement or extreme weather, or unless otherwise ordered by a health care provider.
 - (c) Early language and literacy experiences throughout the day accumulating for not less than 30 minutes.
 - (d) Early math and science experiences.
- (4) Television, video tapes, movies, electronic devices, and computers shall be limited to not more than 2 hours per day and to programs designed for children's education and/or enjoyment. Other activities shall be available to children during television/movie viewing.
- (5) Programs/movies with violent or adult content, including soap operas, shall not be permitted in child-use space while children are in care.
- (6) The use of television, video tapes, movies, electronic devices and computers by children in care shall be suitable to the age of the child in terms of content and length of use.
- (7) The caregiver shall, for children with special needs, work with the parents, medical personnel, and/or other relevant professionals to provide care in accordance with the child's identified needs and learning supports.

R 400.1915 Indoor space; play equipment and materials.

Rule 15. (1) A child care home shall provide not less than 35 square feet per child of safe, usable, accessible indoor floor space, not including bathrooms and storage areas.

(2) Only space that has received prior approval for child use by the department may be used for child care.

(3) A variety and number of easily accessible activity choices shall be available to the child, shall be safe and appropriate for a child at his or her stage of development, and shall be based on the licensed/ registered number of children. All of the following apply to activity choices available:

- (a) Materials may include, books, art supplies, blocks and accessories, large muscle equipment, manipulative toys, musical equipment, and dramatic play materials.
- (b) All materials and equipment shall be kept clean and free of hazards.
- (c) Toys and other play equipment soiled by secretion or excretion shall be cleaned with soap and water, rinsed and sanitized before being used by a child.

(4) The caregiver shall not use any equipment, materials, and furnishings recalled or identified by the U.S. Consumer Product Safety Commission (<http://www.epsc.gov/>) as being hazardous. As required by 2000 PA 219, MCL 722.1065, the caregiver shall conspicuously post in the child care home an updated copy of the list of unsafe children's products that is provided by the department.

(5) All children shall be protected from materials that could be swallowed and/or present a choking hazard. Toys or objects with removable parts less than 1¼ inches in diameter and less than 2¼ inches in length, as well as balls smaller than 1¼ inches in diameter are prohibited for children under 3 years of age.

(6) Trampolines shall not be used indoors by children in care.

R 400.1916 Bedding and sleeping equipment.

Rule 16. (1) All bedding and equipment shall be in accordance with U.S. Consumer Product Safety Commission (<http://www.epsc.gov/>) standards as approved for the age of the child using the equipment and shall be clean, comfortable, safe, and in good repair.

(2) All bedding and sleeping equipment shall be cleaned and sanitized before being used by another person.

(3) All bedding used by children shall be washed when soiled or weekly at a minimum.

(4) All cribs or porta-cribs shall be equipped with a firm, tight-fitting mattress with a waterproof, washable covering, as recommended and approved by the U.S. Consumer Product Safety Commission.

Living Room
 21.5 x 18 = 387
 K. kitchen
 8.5 x 13 = 110.5
 Bed room = 12 x 10 = 120
 620 sq ft

R 400.1919 Communicable disease.

Rule 19. A person who lives in a home or cares for children who has a suspected or a confirmed case of a communicable disease shall not come into contact with children in care.

R 400.1920 Outdoor play area and equipment.

Rule 20. (1) A child care home shall provide a clean, safe, and hazard free outdoor play area, on the premises or within a reasonable walking distance of the home.

- (2) The play area size shall be the following:
- (a) Not less than 400 square feet for a family child care home.
 - (b) Not less than 600 square feet for a group child care home.
- (3) A child care home shall provide an adequate and varied supply of outdoor play equipment, materials, and furniture, that is all of the following:
- (a) Appropriate to the developmental needs and interests of children.
 - (b) Appropriate to the number of children.
 - (c) Safe and in good repair.
- (4) The outdoor play area and equipment shall be organized:
- (a) To separate active and quiet activities.
 - (b) For a clear and unobstructed view of the whole play area.
 - (c) To assure that there are safe distances between equipment.
- (5) When swings, climbers, slides, and other similar play equipment with a designated play surface above 30 inches are used, they shall:
- (a) Not be placed over concrete, asphalt, or a similar surface, such as hard-packed dirt or grass.
 - (b) Be safe, in good repair, and age-appropriate.
 - (c) Be placed at least 6 feet from the perimeter of other play structures or obstacles.
- (6) Trampolines shall not be used outdoors by children in care.
- (7) Children in care shall not be permitted to ride all terrain vehicles, motor bikes, go-carts, recreational, and other motorized vehicles.

59 feet
1980 backyard
60 x 33
1800 x

R 400.1921 Water hazards and water activities.

Rule 21. (1) The caregiver shall ensure that barriers exist to prevent children from gaining access to any swimming pool, drainage ditch, well, natural or constructed pond or other body of open water located on or adjacent to the property where the child care home is located. Such barriers shall be of a minimum of 4 feet in height and appropriately secured to prevent children from gaining access to such areas.

- (2) Hot tubs and spa pools shall not be used when children are in care.
- (3) Hot tubs and spa pools, whether indoors or outdoors, shall be made inaccessible to children in care by the use of a locked hard cover.
- (4) Wading pools may be used when the following requirements are met:
- (a) The pools are clean and free of debris.
 - (b) The pools are emptied and cleaned after each play period or immediately when they become dirty or contaminated.
 - (c) The pools shall remain empty at all times they are not in use.
- (5) Before use of a residential pool or any other body of water by children in care, a caregiver shall assure that the water is clean, safe, and sanitary, and the children will be appropriately and adequately supervised.
- (6) Public swimming areas may be used only if a lifeguard is present.
- (7) If there are 2 groups of children, 1 group in the water and 1 group out of the water, then the caregiving staff to child ratios, as required in R 400.1910, shall be maintained for each group, with the exception that the in-the-water caregiving staff to child ratio for children under 3 years of age shall be 1-to-1 at all times.
- (8) Rescue equipment shall be readily accessible at all times.
- (9) A working telephone shall be immediately accessible in the water activity area.

A. General Requirements for Special Uses: The applicant shall follow these requirements and recommendations made by the Planning Commission after their review. The general requirements for all special uses are as follows:

1. The special use shall be designed, constructed, operated, and maintained in a manner harmonious with the character of adjacent property and the surrounding area.
2. The special use shall not change the essential character of the surrounding area.
3. The special use shall not interfere with the general enjoyment of adjacent property.
4. The special use shall not be hazardous to adjacent property or involve uses, activities, materials, or equipment that will be detrimental to the health, safety, or welfare of persons or property through the excessive production of traffic, noise, smoke, odor, fumes, or glare.
5. The special use shall be adequately served by essential public facilities and services; or it shall be demonstrated that the person responsible for the proposed special use shall be able to continually provide adequate services and facilities deemed essential to the special use under consideration. The said facilities or services shall be approved by the Central Michigan District Health Department.
6. When deemed necessary by the Township Board or Planning Commission, the use shall be adequately screened by distance and landscaping to protect the rights of all adjoining property.
7. The Township Board or Planning Commission, in connection with approval of any application, may require reasonable undertaking by the applicant to guarantee and assure by agreement, including a performance bond to be posted by the applicant or by some other reasonable surety arrangement at appropriate stages of the planned development, that the development will be executed in accordance with the approved plan.
8. That such use will be an asset to the Township.
9. Requirements and conditions of each individual special use permitted shall be complied with, unless otherwise mentioned within this Section.
10. Any special use permit may be revoked by the Union Township Board upon recommendation of the Union Township Planning Commission whenever the operation fails to comply with any of the required conditions or may be subject to the penalties of this Ordinance.
 - a) Approval of a special use permit shall be valid regardless of change of ownership, provided that all terms and conditions of the permit are met by any subsequent owner.
 - b) In instances where development authorized by a special use permit has not commenced within one (1) year from the date of issuance, the permit maybe reconsidered and/or voided at a regularly called meeting of the Planning Commission.

30.4 SPECIAL USES PERMITTED (X, NEW, 1993-6 ORDINANCE; Y, NEW, 1995-6 ORDINANCE)

The following special uses may be permitted within the specified Districts:

- A. Adult Entertainment Activities: (Deleted as Special Use Permit, Ord 2005-03)
- B. Airports, Public or Private, Provided:

Union Township
Zoning Ordinance

30-3

Special Use
Permits

6. All lighting shall be shielded from adjacent Districts.

J. Group Day-Care Homes:

1. Group day-care homes are only located within AG, R-1, R-2A, R-2B, and R-3 Districts.
2. The home shall not be located closer than one thousand five hundred (1,500) feet to any of the following:
 - a) Another licensed group day-care home.
 - b) Another adult foster care small group home or large group home licensed under the Adult Foster Care Facility Licensing Act, Act 218 of the Public Acts of 1979.
 - c) A facility offering substance abuse treatment and rehabilitation service to seven (7) or more people licensed under Article 6 of the Public Health Code, Act 368 of the Public Acts of 1978.
 - d) A community correction center, resident home, halfway house, or other similar facility that houses an inmate population under the jurisdiction of the Department of Corrections.

Group day-care homes must have appropriate fencing for the safety of the children in the group day-care home as determined by the Township Zoning Administrator.

Group day-care homes must maintain the property consistent with the visible characteristics of the neighborhood as determined by the Zoning Administrator.

Group day-care homes do not exceed sixteen (16) hours of operation during a twenty- four (24) hour period.

One (1) off-street parking space shall be provided for each employee not residing in the residential home.

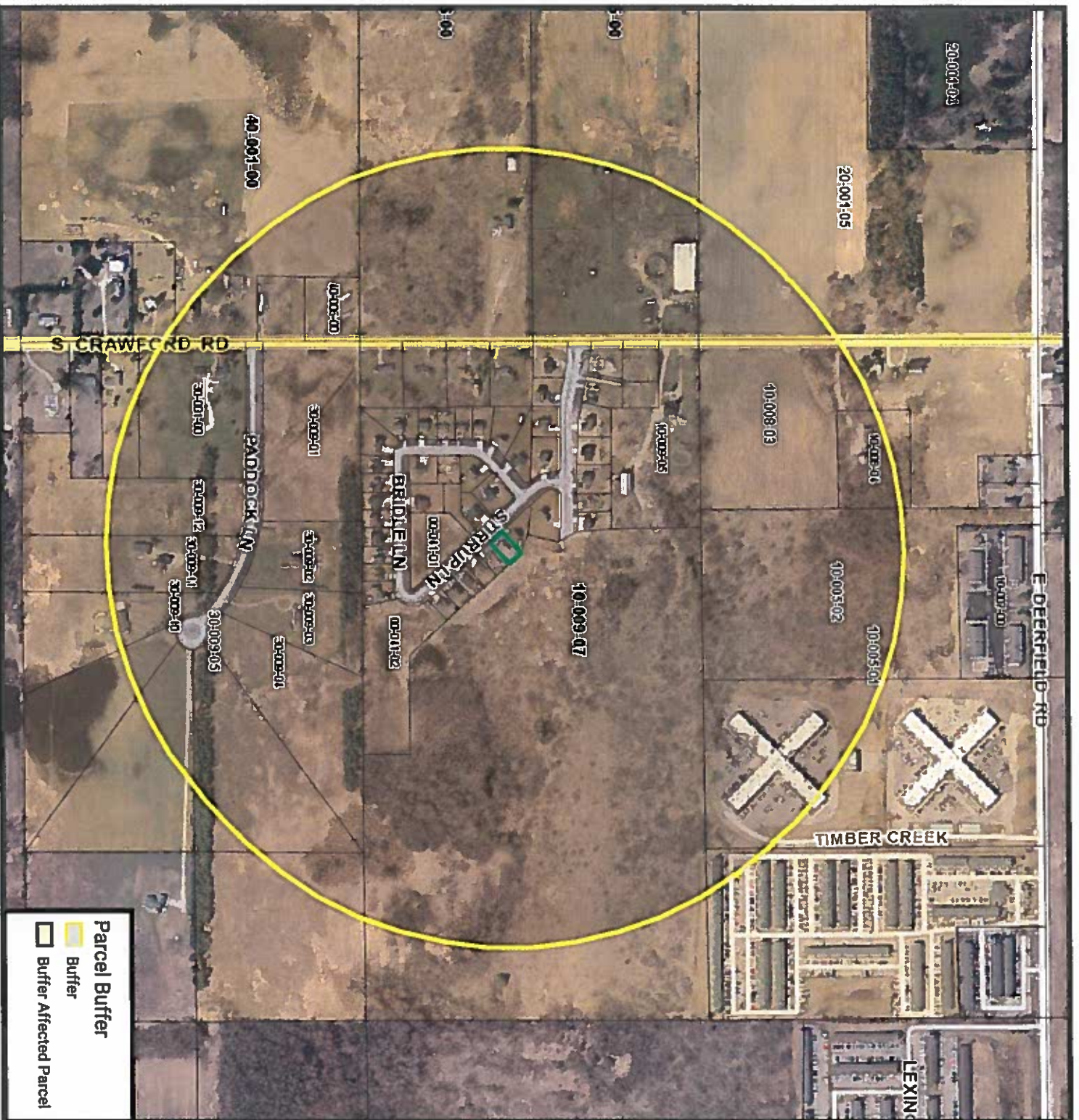
One (1) sign announcing the service shall be permitted as regulated in Section 11.7.

K. Hunting Clubs or Gun Clubs, Provided:

1. They are only located within AG Districts.
2. Driveways and parking areas as specified in Section 30.4.B.2.

L. Junk Yards, Provided:

1. They be located within I-2 Districts.
2. They shall be licensed under the provisions of Act 641 of the Public Acts of 1978, as amended.
3. All uses shall be established and maintained in accordance with all applicable State laws.
4. The site shall be a minimum of five (5) acres in size.



County of Isabella



Map Publication:
07/11/2019 2:46 PM



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FetchGIS

Disclaimer: This map does not represent a survey or legal document and is provided on an "as is" basis. Isabella County expresses no warranty for the information displayed on this map document.

Child Care Licensing Search

Department of Licensing and Regulatory Affairs

(/)

Statewide Search for Licensed Child Care Centers and Homes

Search by one or more of the following choices:

Facility Name

Facility Name

Facility Address

Facility Address

County

ISABELLA

City

City

Zip Code

Zip Code

Facility Type:


CHILD CARE GROUP HOME (CAPACITY 7-12)

Licensee Name:

Licensee Name

License Number:

License Number

 Search

 Reset (/)

Click on the name of the facility for more detailed information including online inspection reports completed on or after July 1, 2002. Special investigation reports that determine no violation of rule or statute are not placed on the website. All child care providers are required to have a licensing notebook on-site and available during regular business hours. The notebook must include all licensing study and special investigation reports issued and related corrective actions developed after 5/27/10. Reports may be obtained by making a [Freedom of Information Act \(http://www.michigan.gov/lara/0,4601,7-154-72704-357923--,00.html\)](http://www.michigan.gov/lara/0,4601,7-154-72704-357923--,00.html) request.

Records and reports of suspected child abuse or neglect are subject to the Child Protection Law, 1975 PA 238, as amended (MCL 722.621 - 722.638). Reports of such investigations are considered confidential records under MCL 722.627 and, therefore, neither subject to the Freedom of Information Act (1976 PA 422, as amended), nor posted on this website.

Search Results for Child Care Centers and Homes:

[Empty search results area]

DG370066019

CHILD CARE GROUP HOME (CAPACITY 7-12)

[ANN L. FERGUSON \(/Home/FacilityProfile/DG370066019\)](#)

405 S ARNOLD

MOUNT PLEASANT

ISABELLA

48858

DG370392311

CHILD CARE GROUP HOME (CAPACITY 7-12)

[AUNT BREE'S DAY CARE \(/Home/FacilityProfile/DG370392311\)](#)

3769 S SHEPHERD ROAD

MOUNT PLEASANT

ISABELLA

48858

DG370061016

CHILD CARE GROUP HOME (CAPACITY 7-12)

[BAKER SUSAN G. \(/Home/FacilityProfile/DG370061016\)](#)

1344 CENTER DRIVE

MOUNT PLEASANT

ISABELLA

48858

DG370277717

CHILD CARE GROUP HOME (CAPACITY 7-12)

[BAXTER CYNTHIA \(/Home/FacilityProfile/DG370277717\)](#)

3305 E BLANCHARD ROAD

SHEPHERD

ISABELLA

48883

DG370316264

CHILD CARE GROUP HOME (CAPACITY 7-12)

[COTTER JILL ANN \(/Home/FacilityProfile/DG370316264\)](#)

2851 S LITTLEFIELD

MT PLEASANT

ISABELLA

48858

DG370373873

CHILD CARE GROUP HOME (CAPACITY 7-12)

[COTTER, DANIELLE \(/Home/FacilityProfile/DG370373873\)](#)

1379 N LA PEARL RD

WEIDMAN

ISABELLA

48893

DG370393613

CHILD CARE GROUP HOME (CAPACITY 7-12)

[COUNTRY KIDS DAYCARE \(/Home/FacilityProfile/DG370393613\)](#)

1477 E. BLANCHARD

SHEPHERD

ISABELLA

48883

DG370060996

CHILD CARE GROUP HOME (CAPACITY 7-12)

[DILLMAN, VICKY SUE \(/Home/FacilityProfile/DG370060996\)](#)

8880 GOLFSIDE COURT

SHEPHERD

ISABELLA

48883

DG370267639

CHILD CARE GROUP HOME (CAPACITY 7-12)

[FABER, KARLA \(/Home/FacilityProfile/DG370267639\)](#)

501 N. HARRIS STREET

MOUNT PLEASANT

ISABELLA

48858

DG370251021

CHILD CARE GROUP HOME (CAPACITY 7-12)

FULLER, KRISTI K. (/Home/FacilityProfile/DG370251021)

834 E. PICKARD ROAD

MOUNT PLEASANT

ISABELLA

48858

DG370068702

CHILD CARE GROUP HOME (CAPACITY 7-12)

GILLIS, NANCY KAY (/Home/FacilityProfile/DG370068702)

316 PALMER

MOUNT PLEASANT

ISABELLA

48858

DG370061026

CHILD CARE GROUP HOME (CAPACITY 7-12)

HERREN, MARY (/Home/FacilityProfile/DG370061026)

3240 S. MERIDIAN

MOUNT PLEASANT

ISABELLA

48858

DG370251426

CHILD CARE GROUP HOME (CAPACITY 7-12)

HUBER, JENNIFER ANN (/Home/FacilityProfile/DG370251426)

7501 WEST BLANCHARD

BLANCHARD

ISABELLA

49310

DG370381645

CHILD CARE GROUP HOME (CAPACITY 7-12)

KARING 4 KIDS (/Home/FacilityProfile/DG370381645)

5586 W WEIDMAN ROAD

WEIDMAN

ISABELLA

48893

DG370306320

CHILD CARE GROUP HOME (CAPACITY 7-12)

MARCHIANDO, CATHERINE L (/Home/FacilityProfile/DG370306320)

5879 WEST GROSS DRIVE

WEIDMAN

ISABELLA

48893

DG370317363

CHILD CARE GROUP HOME (CAPACITY 7-12)

MARSHALL, CONNIE (/Home/FacilityProfile/DG370317363)

1216 UPTON AVE.

MT. PLEASANT

ISABELLA

48858

DG370393070

CHILD CARE GROUP HOME (CAPACITY 7-12)

MCMULLEN, SUZANNE (/Home/FacilityProfile/DG370393070)

380 E CENTRAL AVE.

SHEPHERD

ISABELLA

48883

DG370370570

CHILD CARE GROUP HOME (CAPACITY 7-12)

MERILLAT, CORRIE (/Home/FacilityProfile/DG370370570)

6051 E. HERRICK RD

CLARE

ISABELLA

48617

DG370313587

CHILD CARE GROUP HOME (CAPACITY 7-12)

MORADO KIMBERLY (/Home/FacilityProfile/DG370313587)

5271 JONATHON LANE

MT. PLEASANT

ISABELLA

48858

DG370398764

CHILD CARE GROUP HOME (CAPACITY 7-12)

MS LIZ'S DAYCARE (/Home/FacilityProfile/DG370398764)

2630 ROSEMARY LN

MT PLEASANT

ISABELLA

48858

DG370278946

CHILD CARE GROUP HOME (CAPACITY 7-12)

SCHAFER CHARLENE (/Home/FacilityProfile/DG370278946)

1705 N. LAPEARL RD.

WEIDMAN

ISABELLA

48893

DG370075430

CHILD CARE GROUP HOME (CAPACITY 7-12)

[SMITH MARY JANE \(/Home/FacilityProfile/DG370075430\)](#)

705 CRAPO

MT PLEASANT

ISABELLA

48858

DG370399289

CHILD CARE GROUP HOME (CAPACITY 7-12)

[STACEY BABCOCK \(/Home/FacilityProfile/DG370399289\)](#)

7465 E. SOUTH COUNTYLINE

ALMA

ISABELLA

48801

DG370352933

CHILD CARE GROUP HOME (CAPACITY 7-12)

[STONEROCK, ELIZABETH \(/Home/FacilityProfile/DG370352933\)](#)

1635 N WHITEVILLE RD

MT PLEASANT

ISABELLA

48858

DG370061013

CHILD CARE GROUP HOME (CAPACITY 7-12)

[TENDER LOVING DAY CARE \(/Home/FacilityProfile/DG370061013\)](#)

300 E GRAND

MT PLEASANT

ISABELLA

48858

DG370061008

CHILD CARE GROUP HOME (CAPACITY 7-12)

[TIPPETT LINDA S \(/Home/FacilityProfile/DG370061008\)](#)

1701 FESSENDEN

MT PLEASANT

ISABELLA

48858

DG370093384

CHILD CARE GROUP HOME (CAPACITY 7-12)

[TONYA HARTUPEE-ARMSTRONG \(/Home/FacilityProfile/DG370093384\)](#)

11968 E. PICKARD

MOUNT PLEASANT

ISABELLA

48858

DG370092126

CHILD CARE GROUP HOME (CAPACITY 7-12)

[TWO BY TWO \(/Home/FacilityProfile/DG370092126\)](#)

2242 S SUMMERTON

MT PLEASANT

ISABELLA

48858

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Displaying 1 to 28 of 28 items.

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AFFIDAVIT OF PUBLICATION
2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: JENNIFER LOVEBERRY

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cyndy Slater, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

UNION TOWNSHIP PUBLIC HEARING NOTICE
Special Use Permit

NOTICE is hereby given that a Public Hearing will be held on Tuesday, July 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for hearing any interested persons in the following request for a Special Use Permit as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by Julie M. Recker A group Day-Care Home

Legal Description of properties: T14N R4W SEC 34: COPPER ESTATES UNIT 26

These properties located at: 5115 Stirrup Dr. MOUNT PLEASANT, MI 48858
PID 14-050-00-026-00

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner


Published: July 2, 2019

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

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morningstarpublishing.com 07/02/19

TINA M CROWN
Notary Public - Michigan
Lapeer County
My Commission Expires Mar 30, 2021
Acting in the County of Oakland

Sworn to the subscribed before me this 2nd July 2019


Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226 Ad Id: 1832866 PO: Sales Person: 200308



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: B) REZ 2019-04 Rosewood Dr PID 14-014-20-038-01.

Applicant: CMS&D (owner representative)

Owner: Rosewood Development Co. LLC.

Location: PID 14-014-20-038-01 Rosewood Dr. MT PLEASANT, MI 48858

Current Zoning: R-3A (Multiple family Residential District)

Adjacent Zoning: R-3A, B-4, R-2A, OS.

Future Land Use/Intent: Residential Attached: This land use category covers a variety of attached dwelling units and includes areas planned for both medium- and high-density residential development including duplexes, attached condominiums, townhomes, and flats.

Current Use: Vacant property

Reason for Request: New medical office facility plus new parking for existing medical office on separate parcel.

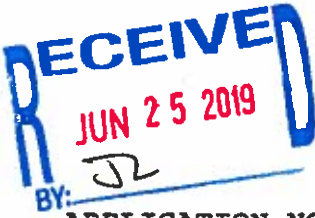
History: Parcel is a part of approved Rosewood development recently amended by the Township in 2016. Earlier this year in April the applicant requested a rezone from R-3A to OS for the entire remaining vacant portion of the parcel. That application was withdrawn by the applicant. This new request is to rezone two separate portions (3.41 acres, 0.45 acres) of the parcel to OS and leave the remaining balance (5.39) acres zoned R-3A.

Objective of board: The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

Recommendation from Township Planner

An OS District does allow by special use one- and two-family dwellings. A two-family dwelling (duplexes) would fit with the Residential Attached FLU map designation. Although an OS District still allows a potential residential use of the property the intent of this rezone is for a new medical office and expanded parking for an existing medical office. Careful consideration of hours of operation, lighting, traffic, screening and other issues should be considered to respect of the residential living to the west. Although the FLU map would not support this rezone as it is planned for residential attached this rezone could work as long as the issues noted above are adequately addressed. Please note this is a rezone request; the PC may NOT place any conditions on its recommendation to the Board of Trustees.

Peter Gallinat
Township Planner



APPLICATION FOR ZONING CHANGE
CHARTER TOWNSHIP OF UNION
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. _____

DATE _____

A. I (WE) ROSEWOOD DEVELOPMENT CO. LLC

Address P.O. BOX 982, MT. PLEASANT, MI 48804

Phone 989506-1168

hereby file an application with the Township Clerk's office to:

- 1. Add to or change the text of the Zoning Ordinance.
- 2. Change the district boundaries.
- 3. Re-zone the property from R-3A
zoning classification to OS
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

N/A

C. If this application is for the re-zoning of property please provide a complete legal description.

SEE ATTACHED

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

SOUTHEAST CORNER OF ROSEWOOD DRIVE AND CROSSLANES ST.

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

Proposed Medical Facility

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

SEE ATTACHED

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

Applicant

Date

6/25/19

Applicant

Date

Applicant

Date

** FOR OFFICE USE ONLY **

Date application referred to Planning Commission

Date public hearing notice published

Date public hearing notice mailed

Planning Commission Action. ___ Adopted ___ Denied Date

Date referred to County Planning Commission

Township Board Action ___ Adopted ___ Denied Date

Remarks:

FEE

RECEIPT NO.

- B. If this application is for a text amendment please describe in detail what you would like to change. Give section number and proposed changes, standards and procedures.

NOT APPLICABLE

- C. If this application is for the re-zoning of property please provide a complete legal description.

Legal Descriptions have been provided as an attachment to the application, as part of the Drawing Set and as a Word File.

- D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

There are two locations within the same overall parcel that are under consideration. The overall parcel contains 9.25 acres of land and resides on the East side of Rosewood North Drive. The parcel is approximately 1000 feet in length (North-South) and 400 feet in width (East-West). The parcel is undeveloped, with Rosewood North Drive on the West, Crosslanes Street on the North, The Lapham Commercial Development Parcels and Private Drive on the East and an Office Complex on the South at the corner of Rosewood North and Broadway Street.

- E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

The Overall Parcel is currently for sale. The prospective purchaser is Dr. Annu Mohan (Family Medical Practice) and her husband Dr. Sudeep Mohan. Dr. Mohan currently has her Family Practice at the corner of Rosewood North and Broadway Streets. Her practice has continued to grow and she is now faced with the problem of outgrowing her current facility. Dr. Mohan has been at her Rosewood North Location for approximately a decade now and her wish is to keep her practice in the same vicinity. Moving from the South end, 1/4 mile to the North end. The Mohan's overall goal is to bring another medical group into their location to provide specialized care for senior on the proposed 3.4 acres of proposed OS zoning and they are currently looking into the potential of a Senior Living/Assisted Living Center on the remaining 5.4 acres of R-3A. This leaves the 0.45 acre parcel that is being requested to be rezoned from R-3A to OS. The two Existing Office Complexes at the intersection of Rosewood North and Broadway both are in need of overflow parking. The proposed parking area would provide parking for staff to assure that the patients have parking close to the building.

- F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

Please See Attached.

- G. List the names and addresses of the property owners lying within 300 feet of the property to be rezoned. (use separate sheet)

- H. List all or any easements or right-of-ways which have been granted said property herein described.

Shown on the Attached Drawing Set.

PROPOSED REZONE R-3A TO OS (MEDICAL OFFICE)

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 145.05 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 143.66 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 333.17 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-24'-59"E., 69.41 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 122.48 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 167.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 121.07 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 87.78 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 86.78 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 97.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.87°-18'-19"E., ON AND ALONG SAID SOUTHERLY RIGHT OF WAY LINE 432.70 FEET; THENCE S.00°-24'-18"W., 365.00 FEET; THENCE N.87°-18'-19"W., PARALLEL WITH SAID SOUTHERLY RIGHT-OF-WAY, 378.74 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 3.41 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

PROPOSED REZONE R-3A TO OS (PARKING AREA)

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 79.51 FEET TO A POINT, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.07°-55'-46"E., 79.28 FEET TO SAID POINT; THENCE S.89°-35'-01"E, 128.69 FEET; THENCE S.00°-24'-27"W., 144.30 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 139.10 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.45 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

REMAINING PARCEL (ZONED R-3A)

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N-R.4 W., UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE 79,51 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.07°-55'-46"E., 79.28 FEET TO SAID POINT OF BEGINNING; THENCE CONTINUING ON SAID ARC TO THE RIGHT HAVING A RADIUS OF 302.00 FEET, 65.54 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.21°-41'-20"E., 65.41 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 333.17 FEET; THENCE S.87°-18'-19"E., PARALLEL WITH THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.00°-24'-18"W., 639.39 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 300.01 FEET; THENCE N.00°-24'-27"E., 144.30 FEET; THENCE N.89°-35'-01"W., 128.69 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 5.39 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

UNION TOWNSHIP PUBLIC HEARING NOTICE –REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, July 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for rezoning of a portion of property from R-3A (Multiple Family Residential District) to OS (Office Service District) as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **Rosewood Development Co LLC** A rezoning of R-3A (Multiple Family Residential District) to OS (Office Service District).

Legal Description of property: T14N R4W, SEC 14; P/O W 25 A OF SE 1/4 OF NE 1/4 SEC 14; COM N 87D 57M 53S W, 920.2 FT ALG E-W 1/4 LN FROM E 1/4 COR; TH N 87D 57M 53S W, 80 FT; TH N 0D 24M 27S E, 283 FT; TH N 87D 57M 53S W, 317.2 FT; TH N 1D 6M 16S E, 1013.17 FT; TH S 87D 19M 15S E, 810.39 FT; TH S 0D 24M 27S W, 1004.33 FT; TH N 87D 57M 53S W, 425 FT; TH S 0D 24M 27S W, 283 FT TO POB 8/11/04 FROM 14-20-038-01 PLATTED UNIT 1-14, ROSEWOOD NORTH CONDOS; 14-612-00-001-00 THRU -014-00 06/22/99 SPLIT 038-00 CHILD 038-02, 038-03, 038-04 RESIDUAL 038-01 4/22/05 FROM 014-020-038-01 PLATTED UNIT 612-00-015-00-034-00 ROSEWOOD NORTH PHASE II 3/31/06 REMOVED 6.50/AC FROM RESIDUAL FOR PHASE ONE AND TWO NOT ADJUSTED IN 05 FOR PHASE I RESIDUAL 038-01

This property is located at: Rosewood Dr. MOUNT PLEASANT, MI 48858
PID 14-014-20-038-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner



The proposed rezone ONLY includes the NE corner. Located approximately at Rosewood and Crosslanes. The remainder of the vacant parcel will remain zoned R-3A. The YELLOW line is a 300ft radius around the subject parcel highlighted in GREEN. Property owners within the radius are sent a notice of the public hearing.



D & D REAL ESTATE INVESTMENTS LLC
5770 CARRIAGE LANE
MT PLEASANT, MI 48858

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MT PLEASANT, MI 48858

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5770 CARRIAGE LANE
MT PLEASANT, MI 48858

D & D REAL ESTATE INVESTMENTS LLC
5770 CARRIAGE LANE
MT PLEASANT, MI 48858

MT PLEASANT SCHOOL DISTRICT
201 S UNIVERSITY ST
MT PLEASANT, MI 48858

ISABELLA COMMUNITY CREDIT UNIO
PO BOX 427
MT PLEASANT, MI 48804-0427

EMO INVESTMENT LLC
941 W BROOMFIELD
MOUNT PLEASANT, MI 48858

D & D REAL ESTATE INVESTMENTS LLC
5770 CARRIAGE LANE
MT PLEASANT, MI 48858

ROSEWOOD DEVELOPMENT CO LLC
PO BOX 982
MOUNT PLEASANT, MI 48804-0982

WOLTERS LYNN E & VALERIE J
4795 E BROADWAY
MT PLEASANT, MI 48858

SAI AT BROADWAY LLC
906 BENTGRASS
MOUNT PLEASANT, MI 48858

CMHT LAND HOLDINGS LLC
2479 ROSEWOOD DR STE A
MT PLEASANT, MI 48858

ZYGMUNT MICHAEL
4911 E BROADWAY
MT PLEASANT, MI 48858

VARNER CYNTHIA L
4921 E BROADWAY
MOUNT PLEASANT, MI 48858

OLINGER JOHN R & MARY ANN
2446 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

SCHNEIDER MARIAN
2442 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

SHELL JOHN C & CATHERINE N TRUST
2438 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

WILSON JAMES
2434 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

CASSEL SHIRLEY M TRUST
547 W BLUEGRASS RD
MT PLEASANT, MI 48858

MILLER SISSON AMY JO
2430 ROSEWOOD DR APT B
MOUNT PLEASANT, MI 48858

ROGERS BRIAN
2430 ROSEWOOD DR #7
MOUNT PLEASANT, MI 48858

CALLISON LINDA TRUST
2430 ROSEWOOD DR UNIT D
MOUNT PLEASANT, MI 48858

KLEMM DAVID M & JENNIFER
2428 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

LIPPERT ROBERT & MARIE TRUST
2422 ROSEWOOD DR UNIT 10
MOUNT PLEASANT, MI 48858

JUHASZ PAUL MD TRUST & JUHASZ MARIA
2416 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

STALTER ORA & JUNE
2412 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

GRIFFIN WILLIAM A & CAROL A
2406 ROSEWOOD DR N
MT PLEASANT, MI 48858

LEMKE STEVE REV LIVING TRUST
2402 ROSEWOOD DR
MT PLEASANT, MI 48858

WHITE WENDELL E & MARY JO
2394 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

HOPP HERBERT JR & SHIRLEY
2382 ROSEWOOD DR
MT PLEASANT, MI 48858

NICHOLS RANDY G & PATRICIA A
2372 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

JOSLIN JANET D TRUST
2364 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

BEARD GLENNA LIVING TRUST
2356 ROSEWOOD DR
MT PLEASANT, MI 48858

MILLER NORBERT K & SUSAN A TR
2352 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

VANNORS DALL CHARLES & SUZANNE
2436 ROSEWOOD DR A
MOUNT PLEASANT, MI 48858

BIDWELL JAMES & MARILYN TRUST
2346 ROSEWOOD DR B
MOUNT PLEASANT, MI 48858

ROSEWOOD DEVELOPMENT CO LLC
2479 ROSEWOOD NORTH DR
MT PLEASANT, MI 48858

ROSEWOOD DEVELOPMENT CO LLC
2479 ROSEWOOD NORTH DR
MT PLEASANT, MI 48858

COOPER KARLA MARIE
2338 ROSEWOOD DR
MT PLEASANT, MI 48858

PAISLEY MARY ANN REV TRUST
2334 ROSEWOOD DR
MT PLEASANT, MI 48858

SMITH LYNN W & LINDA J
4689 LEE HILL RD
MAYVILLE, MI 48744

BLEIBERG MARVIN N & ERIN
7292 HIDDENBROOK LN
BLOOMFIELD HILLS, MI 48301

AHLERS PHYLLIS M
2312 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

KLUMPP KENDALL & LOIS
2308 ROSEWOOD DR
MOUNT PLEASANT, MI 48858

LIVINGSTON JEFFRIE & JULIA
1820 E BROADWAY ST
MT PLEASANT, MI 48858

ROOD ABE & SANDRA
1824 E BROADWAY ST
MT PLEASANT, MI 48858

HALMAN HUGH TALAT
1828 E BROADWAY ST
MT PLEASANT, MI 48858

HARRISON JESSICA
1836 E BROADWAY ST
MT PLEASANT, MI 48858

ROBINSON ALVIN & SARAH
1900 E BROADWAY
MT PLEASANT, MI 48858

CONNORS CONNIE, THOMAS & TIMOTHY
1901 E MICHIGAN
MT PLEASANT, MI 48858

BARNES ROBERT W & RUTHANN
1837 E MICHIGAN
MT PLEASANT, MI 48858

PRIELIPP TIMOTHY & SARAH
1926 E BROADWAY ST
MT PLEASANT, MI 48858

FEIGHT KEITH TRUST
119 S FRANKLIN
MT PLEASANT, MI 48858

MAYLEE KURT L
417 EAST DR
MT PLEASANT, MI 48858

INGRAM BARBARA
407 EAST DR
MT PLEASANT, MI 48858

HOOPER FAMILY TRUST
401 EAST DR
MT PLEASANT, MI 48858

MOUTSATSON GENE
311 EAST DR
MT PLEASANT, MI 48858

MILLER MARY ANN & BRUCE
305 EAST DR
MT PLEASANT, MI 48858

WILTSE LEON E & SHIRLEY M
1801 E CHIPPEWA
MT PLEASANT, MI 48858

DENSLOW ELIZABETH & DEAN
209 EAST DRIVE
MT PLEASANT, MI 48858

BRISTLEY ANASTASIA & MARK TRUST
1430 BIRCHWOOD ST
MT PLEASANT, MI 48858-9046

REED CHARLES E & BONNIE B
418 EAST DR
MT PLEASANT, MI 48858

REED CHARLES E & BONNIE B
418 EAST DR
MT PLEASANT, MI 48858

GUO SHENG QIANG
310 EAST DR
MT PLEASANT, MI 48858

WARRINER JOHN P
300 EAST DR
MT PLEASANT, MI 48858

MEISS GUY T
210 EAST DR
MT PLEASANT, MI 48858

PROCTOR DAVID J & BROOKES Nanci C
206 EAST DR
MT PLEASANT, MI 48858

HOYLE GENE & NANCY REV TRUST
202 EAST DR
MT PLEASANT, MI 48858

SACCO CHRISTOPHER I
110 EAST DR
MT PLEASANT, MI 48858

MOORE PEGGY A LIFE ESTATE
104 EAST DR
MT PLEASANT, MI 48858

ROSECRANS SHERRI
102 N WILLIAMS
MT PLEASANT, MI 48858

VANBUSKIRK ALICIA A
1825 E BROADWAY ST
MT PLEASANT, MI 48858

MT PLEASANT CITY OF (LIFT STATION)
320 W BROADWAY
MT PLEASANT, MI 48858

July 15, 2019

Charter Township of Union
Mt. Pleasant, MI 58848



Subject: Proposal to Rezone Rosewood 14-014-20-038-01. Legal on file.

To: Union Township Planning Commission

We would love to see all of the parcel rezoned to OS, rather than keep any of it R-3A. We never want to see apartments built there.

We would love to see the center stay untouched, but would like it rezoned to OS.

Sincerely,
Carol A. Griffin

A handwritten signature in black ink that reads "Carol A. Griffin".

William A. Griffin

A handwritten signature in black ink that reads "William A. Griffin".

2406 ROSEWOOD N

Ernest L Wolters
4795 East Broadway Street
Mt/ Pleasant, MI 48858

July 15, 2019

Union Township Planning Commission
2010 S Lincoln Road
Mt. Pleasant, MI 48858

SUBJECT: Rosewood rezoning of R-2A (Multiple Family Residential District) to OS (Office Service District)

I am currently out of town and am not able to attend the Union Township Public Hearing to be held this evening, Tuesday July 16. I was at the April 16 hearing only to find out they had withdrawn their request at that time.

I am concerned of the continuation of the previous rezoning that is being done in our neighborhood from Residential to Office/Service. A review of the current zoning map will show two parcels that have been spot zoned in this area. One existed when Rosewood purchased the property from the Cernek estate, having been rezoned for a dentist office that was never built. The second, directly east of our property, was done at Rosewood Developments request to build the Rosewood Medical building. Now, according to the lower proposed parcel rezoning dimensions drawing, they are proposing rezoning two parcels; one 3.41 acres and one .45 acres. If approved when will they request the remaining 5.39 acres?

According to the Township Zoning Ordinance "OS Office Service Districts are designed to accommodate uses such as offices, and business services which shall serve as transitional areas between residential and business districts and to provide a transition between major thoroughfares and residential districts." Approval of this request does meet that definition. However, it creates a larger Office/Service area, four times the total size of the current two office parcels, in the middle of what is already R-2B One and Two-Family District to the north and south, R-3A Apartment and Condominiums District to the west and B-4 General Business District to the east. The B-4 properties are separated by a private road that serves as an entrance to the only developed property, the Isabella Community Credit Union. Because of the deep township drainage ditch that runs along the west edge of this private road it would unlikely be used as an access point to the proposed rezoned parcels.

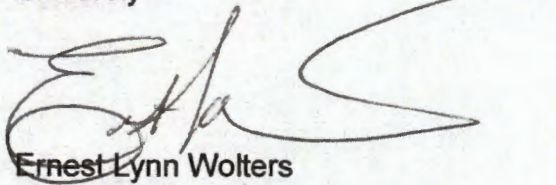
Approval of this rezoning will create additional traffic through what is essentially a residential area, particularly when you consider the City of Mt Pleasant. Traffic will exit on to either Crosslanes (across from the Mary McGuire Elementary School) or on to Rosewood Dr past the existing Rosewood condos and Medical Building to Broadway.

Rosewood residents and Mary McGuire students must walk on Rosewood Drive since there are no sidewalks.

Rosewood Drive is a quiet street since the majority of the Medical Building patients exit to Broadway. There are numerous parents that travel Rosewood Drive to drop off and pick up their children at the school and is busy during the morning and afternoon. Placing additional office / service traffic in this neighborhood will bring more vehicular traffic that this area was not designed to accommodate.

People who purchased property in this area, to include the Rosewood Condo residents and ourselves did so knowing this was a quiet residential neighborhood. I hope that the Planning Commission will seriously evaluate this request and agree that continued spot rezoning is counterproductive to this vision and quality of life in the area.

Sincerely

A handwritten signature in black ink, appearing to read 'E. Wolters', with a large, sweeping flourish extending to the right.

Ernest Lynn Wolters

AFFIDAVIT OF PUBLICATION
2125 Butterfield Dr, Suite 102N • Troy MI 48084

CHARTER TOWNSHIP OF UNION
2010 S Lincoln

Mount Pleasant, MI 48858
Attention: JENNIFER LOVEBERRY

STATE OF MICHIGAN,
COUNTY OF ISABELLA

The undersigned Cindy Slater, being duly sworn the he/she is the principal clerk of Morning Sun, morningstarpublishing.com, published in the English language for the dissemination of local or transmitted news and intelligence of a general character, which are duly qualified newspapers, and the annexed hereto is a copy of certain order, notice, publication or advertisement of:

CHARTER TOWNSHIP OF UNION

Published in the following edition(s):

Morning Sun 07/02/19
morningstarpublishing.com 07/02/19

TINA M CROWN
Notary Public - Michigan
Lapeer County
My Commission Expires Mar 30, 2021
Acting in the County of Oakland

Sworn to the subscribed before me this 2nd July 2019
Tina M Crown

Notary Public, State of Michigan
Acting in Oakland County

Advertisement Information

Client Id: 531226 Ad Id: 1832885 PO: Sales Person: 200308

UNION TOWNSHIP PUBLIC HEARING NOTICE-REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, July 16, 2019, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for rezoning of a portion of property from R-3A (Multiple Family Residential District) to OS (Office Service District) as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by Rosewood Development Co LLC A rezoning of R-3A (Multiple Family Residential District) to OS (Office Service District).

Legal Description of property: T14N R4W, SEC 14; P/O W 25 A OF SE 1/4 OF NE 1/4 SEC 14; COM N 87D 57M 53S W, 920.2 FT ALG E-W 1/4 LN FROM E 1/4 COR; TH N 87D 57M 53S W, 80 FT; TH N 0D 24M 27S E, 283 FT; TH N 87D 57M 53S W, 317.2 FT; TH S 0D 24M 27S E, 1013.17 FT; TH S 87D 19M 15S E, 810.39 FT; TH S 0D 24M 27S W, 1004.33 FT; TH N 87D 57M 53S W, 425 FT; TH S 0D 24M 27S W, 283 FT TO POB 8/11/04 FROM 14-20-038-01 PLATTED UNIT 1-14, ROSEWOOD NORTH CON-DOS: 14-612-00-001-00 THRU -014-00 06/22/99 SPLIT 038-00 CHILD 038-02, 038-03, 038-04 RESIDUAL 038-01 4/22/05 FROM 014-020-038-01 PLATTED UNIT 512-00-015-00-034-00 ROSEWOOD NORTH PHASE II 3/31/06 REMOVED 6.50/AC FROM RESIDUAL FOR PHASE ONE AND TWO NOT ADJUSTED IN 05 FOR PHASE I RESIDUAL 038-01

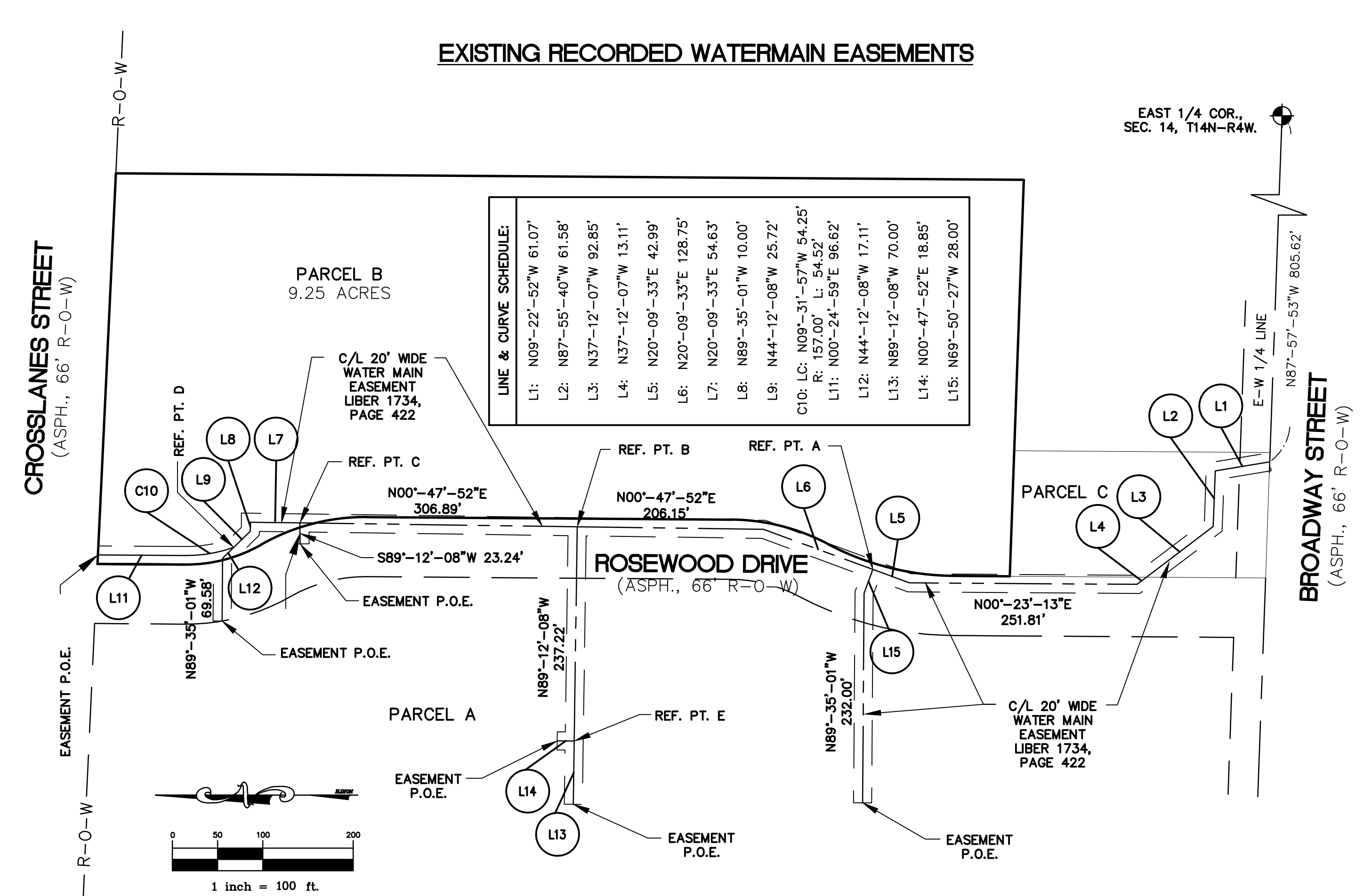
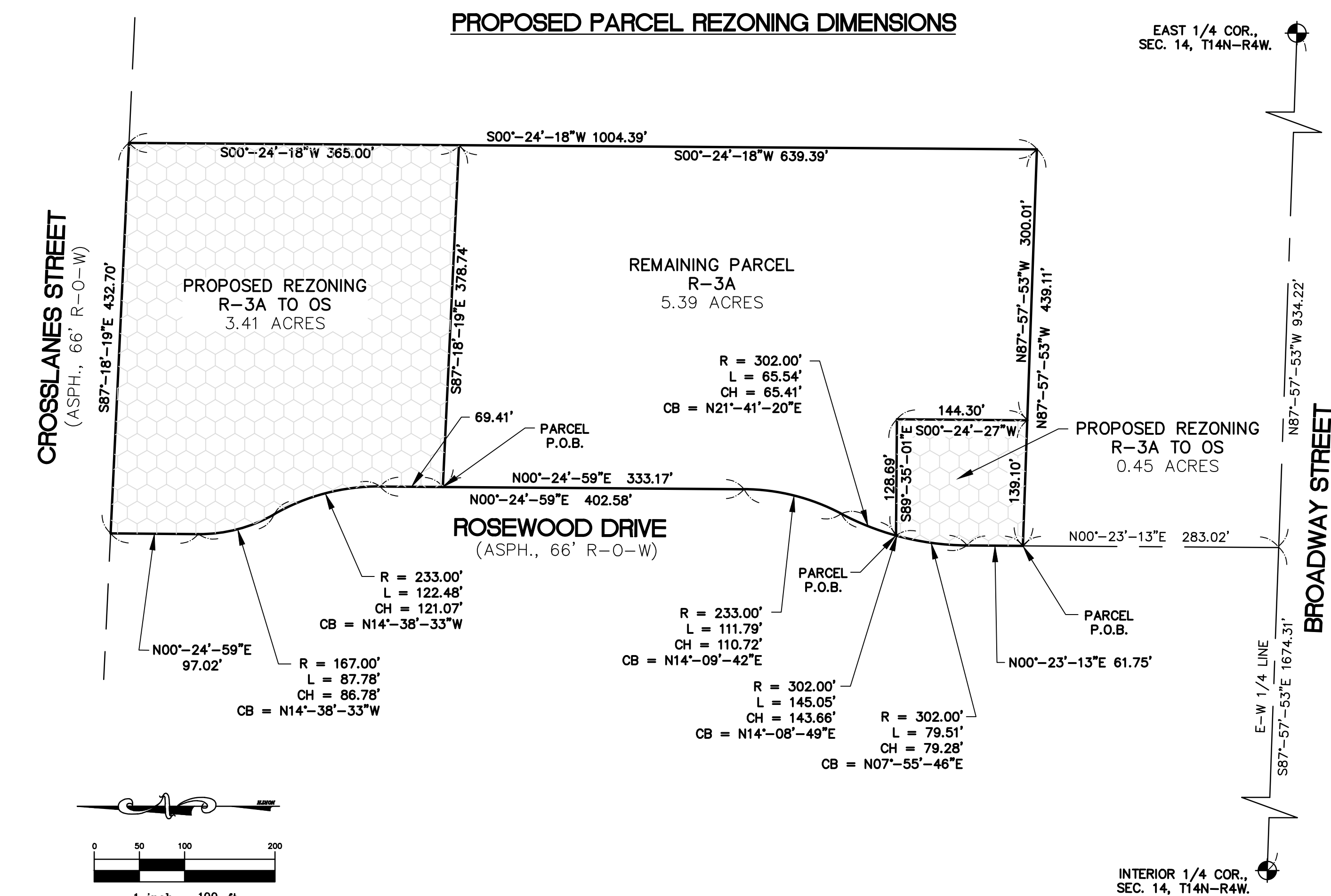
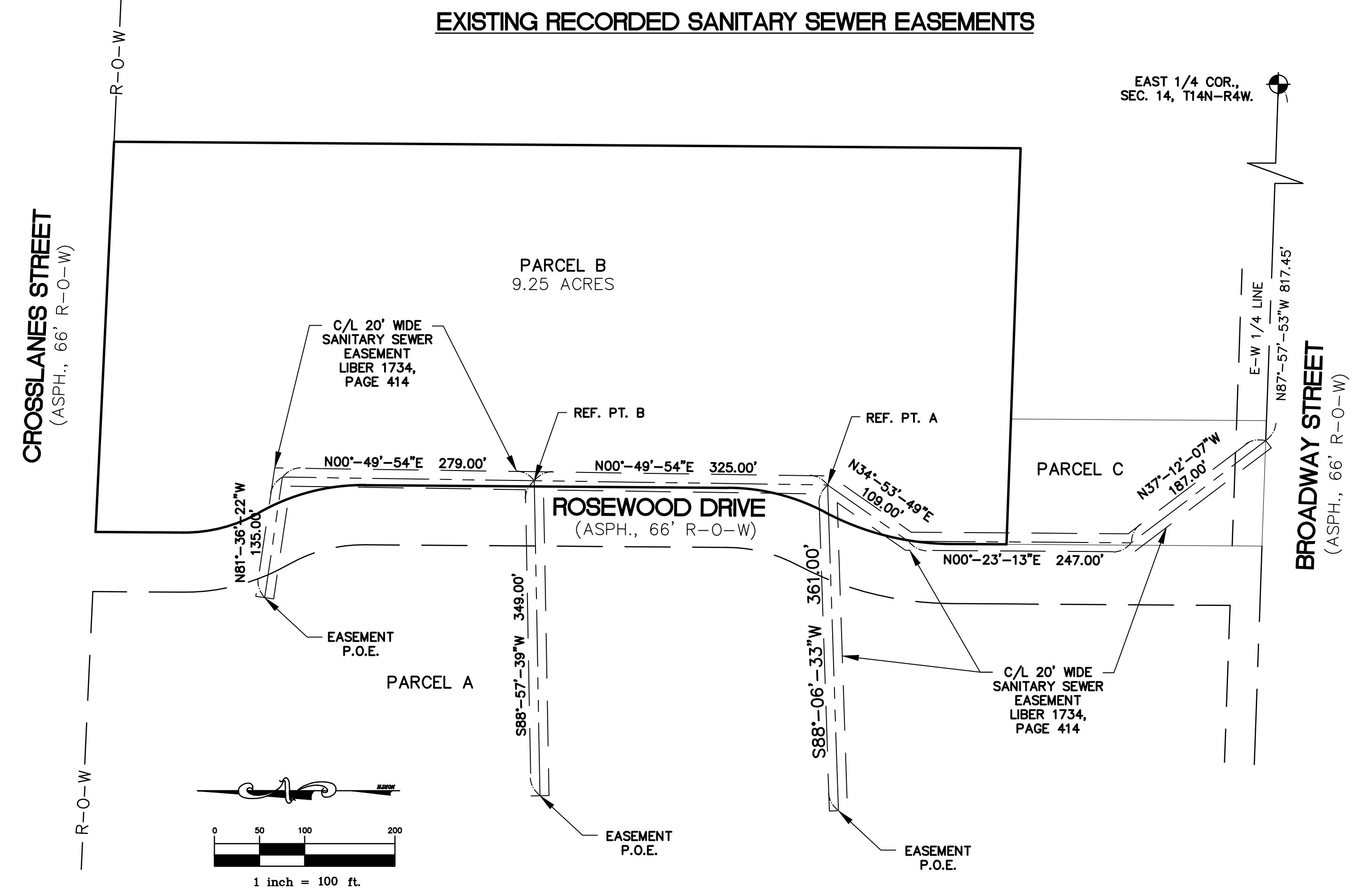
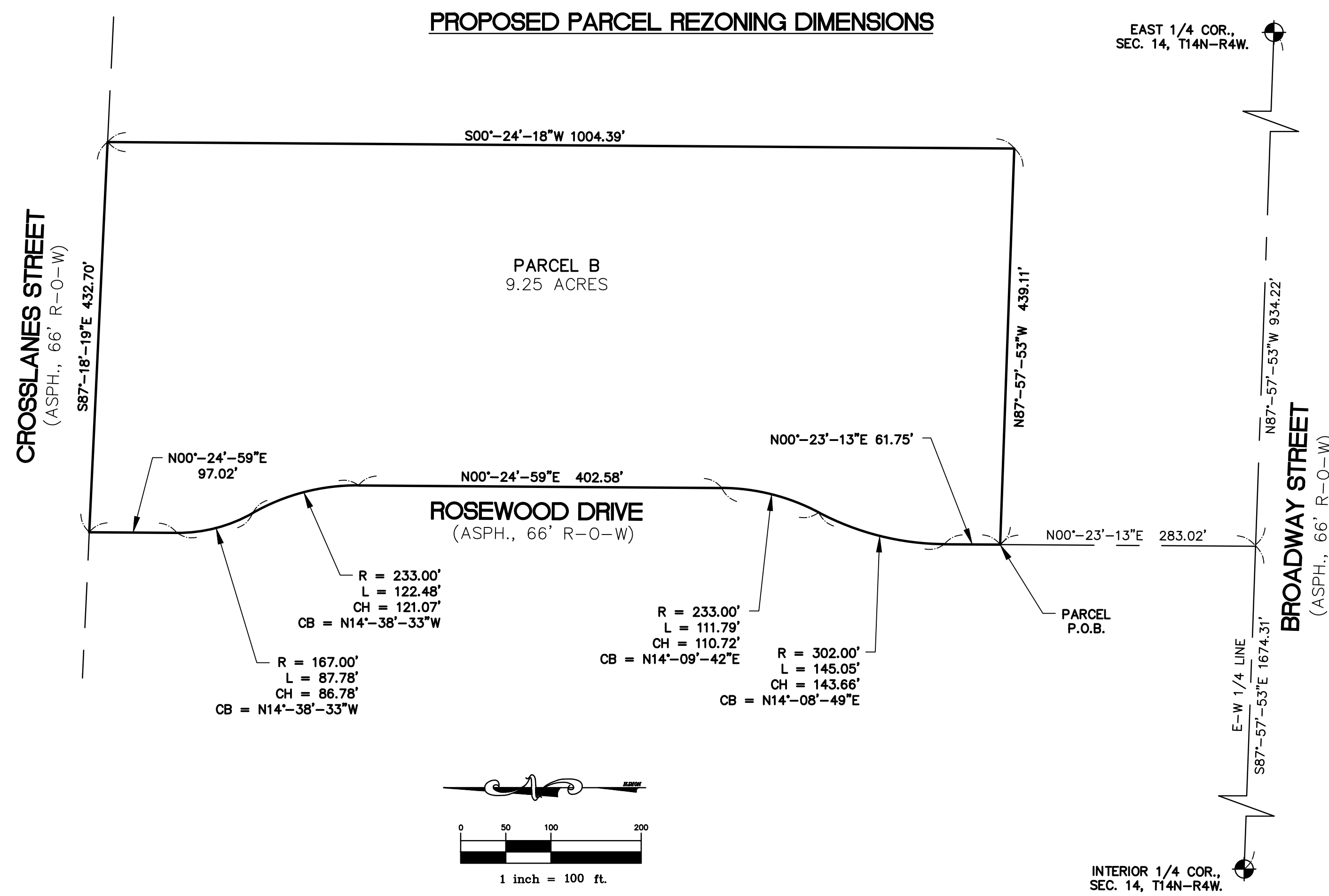
This property is located at: Rosewood Dr. MOUNT PLEASANT, MI 48858
PID 14-014-20-038-01

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,
Township Planner

Published: July 2, 2019



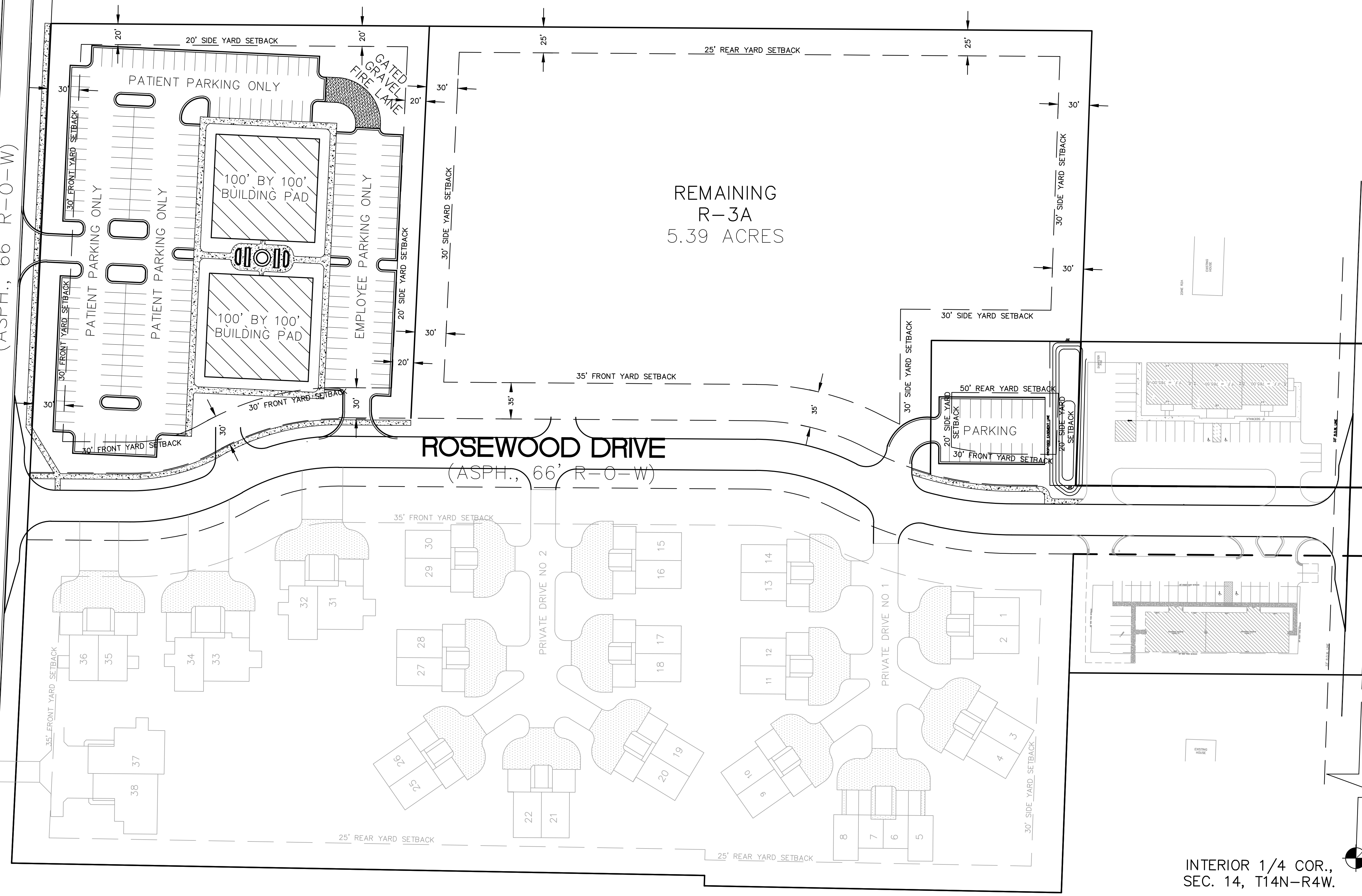
SCALE	1" = 100'
SHEET NUMBER	1 OF 3
JOB NUMBER:	1902-019
DRAWN BY:	TELB
DESIGNED BY:	TELB
CHECKED BY:	TELB
REVISIONS:	SUBMITTALS TO UNION TWP PLANNING COM. 6-25-19

CONCEPTUAL LAYOUT FOR REZONED PARCELS

EAST 1/4 COR.,
SEC. 14, T14N-R4W.

CROSSLANES STREET
(ASPH., 66' R-O-W)

BROADWAY STREET
(ASPH., 66' R-O-W)



CMS & D
SURVEYING / ENGINEERING
2257 EAST BROMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



CONCEPTUAL SITE LAYOUT
ROSEWOOD DEVELOPMENT CO., LLC
PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4
SECTION 14, T.14 N. - R.04 W.
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:
SUBMITTALS:
SUBMITTAL TO UNION TWP PLANNING COM. 6-25-19

SCALE	1" = 50'
JOB NUMBER:	1902-019
DRAWN BY:	TELB
DESIGNED BY:	TELB
CHECKED BY:	TELB
SHEET NUMBER	2 OF 3

ROSEWOOD DRIVE DEDICATED PUBLIC ROAD RIGHT-OF-WAY:

A 66 FOOT WIDE STRIP OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN SAID STRIP BEING 33.00 FEET EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE: TO FIX THE POINT OF BEGINNING OF SAID CENTERLINE, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE, 967.23 FEET TO THE POINT OF BEGINNING OF THIS CENTERLINE DESCRIPTION; THENCE N.00°-23'-13"E., 343.82 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 335.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 160.90 FEET, TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 200.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 159.36 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG SAID ARC, 95.96 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 95.04 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 402.58 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 200.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 105.13 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET, SAID CURVE BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 103.92 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 105.13 FEET TO THE POINT OF TANGENCY, SAID CURVE BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 103.92 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 98.33 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET AND THE POINT OF ENDING, SIDE LINES OF SAID STRIP ARE TO BE EXTENDED OR SHORTENED TO MEET AT THEIR RESPECTIVE INTERSECTIONS. CONTAINING 1.99 ACRES.

PARCEL B:

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET TO THE POINT OF BEGINNING; THENCE N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 145.05 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 143.66 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 402.58 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 122.48 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 167.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 121.07 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 87.78 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 86.78 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 97.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.87°-18'-19"E., ON AND ALONG SAID SOUTHERLY RIGHT OF WAY LINE 432.70 FEET; THENCE S.00°-24'-18"W., 1004.39 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 439.11 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 9.25 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

PROPOSED REZONE R-3A TO OS (MEDICAL OFFICE)

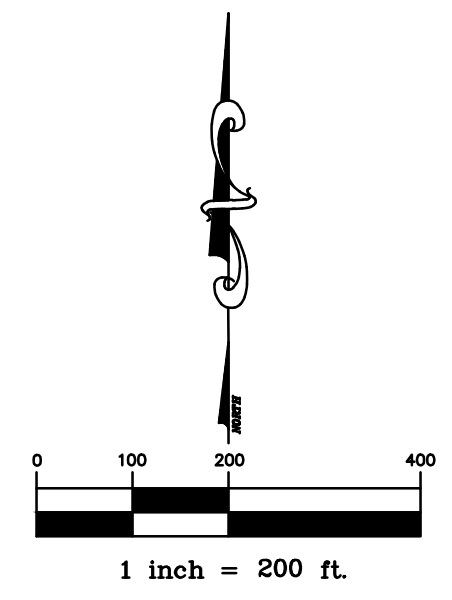
A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 145.05 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-08'-49"E., 143.66 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 333.17 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-24'-59"E., 69.41 FEET TO A POINT OF CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET; THENCE NORTHWESTERLY ALONG SAID ARC, 122.48 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 167.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 121.07 FEET TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHWESTERLY ALONG SAID ARC, 87.78 FEET TO THE POINT OF TANGENCY, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-38'-33"W., 86.78 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 97.02 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.87°-18'-19"E., ON AND ALONG SAID SOUTHERLY RIGHT OF WAY LINE 432.70 FEET; THENCE S.00°-24'-18"W., 365.00 FEET; THENCE N.87°-18'-19"W., PARALLEL WITH SAID SOUTHERLY RIGHT-OF-WAY, 378.74 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 3.41 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

PROPOSED REZONE R-3A TO OS (PARKING AREA)

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ALONG SAID ARC, 79.51 FEET TO A POINT, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.07°-55'-46"E., 79.28 FEET TO SAID POINT; THENCE S.89°-35'-01"E., 128.69 FEET; THENCE S.00°-24'-27"W., 144.30 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 139.10 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 0.45 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.

REMAINING PARCEL (ZONED R-3A)

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 14, T.14 N.-R.4 W. UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN: TO FIX THE POINT OF BEGINNING, COMMENCE AT THE EAST 1/4 CORNER OF SAID SECTION; THENCE N.87°-57'-53"W., ON AND ALONG THE EAST AND WEST 1/4 LINE OF SAID SECTION, 934.22 FEET; THENCE N.00°-23'-13"E., 283.02 FEET; THENCE CONTINUING N.00°-23'-13"E., 61.75 FEET TO THE POINT OF CURVATURE OF A CURVE TO THE RIGHT HAVING A RADIUS OF 302.00 FEET; THENCE NORTHEASTERLY ON THE ARC OF SAID CURVE 79.51 FEET TO A POINT; SAID POINT BEING THE POINT OF BEGINNING OF THIS DESCRIPTION, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.07°-55'-46"E., 79.28 FEET TO SAID POINT OF BEGINNING; THENCE CONTINUING ON SAID ARC TO THE RIGHT HAVING A RADIUS OF 302.00 FEET, 65.54 FEET TO THE POINT OF REVERSE CURVATURE OF A CURVE TO THE LEFT HAVING A RADIUS OF 233.00 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING N.21°-41'-20"E., 65.41 FEET, TO SAID POINT OF REVERSE CURVATURE; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE 111.79 FEET TO THE POINT OF TANGENCY SAID ARC BEING SUBTENDED BY A CHORD BEARING N.14°-09'-42"E., 110.72 FEET TO SAID POINT OF TANGENCY; THENCE N.00°-24'-59"E., 333.17 FEET; THENCE S.87°-18'-19"E., PARALLEL WITH THE SOUTHERLY RIGHT OF WAY LINE OF CROSSLANES STREET; THENCE S.00°-24'-18"W., 639.39 FEET; THENCE N.87°-57'-53"W., PARALLEL WITH SAID EAST AND WEST 1/4 LINE, 300.01 FEET; THENCE N.00°-24'-27"E., 144.30 FEET; THENCE N.89°-35'-01"W., 128.69 FEET BACK TO THE POINT OF BEGINNING, CONTAINING 5.39 ACRES OF LAND, SUBJECT TO AND TOGETHER WITH ANY EASEMENTS, RIGHTS OF WAY, OR RESTRICTIONS OF RECORD.



CMS & D
 SURVEYING / ENGINEERING
 2257 EAST BROWNFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cms-d.com

PARCEL DESCRIPTIONS
 ROSEWOOD DEVELOPMENT CO., LLC
 PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4
 SECTION 14, T.14 N. - R.04 W.
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SCALE 1" = 200'	JOB NUMBER: 1902-019	REVISIONS:
	DRAWN BY: TELB	
SHEET NUMBER 3 OF 3	DESIGNED BY: TELB	
	CHECKED BY: TELB	
	SUBMITTALS: SUBMITTAL TO UNION TWP PLANNING COM. 6-25-19	



Peter Gallinat, Township Planner
pgallinat@uniontownshipmi.com
2010 South Lincoln
Mt. Pleasant, MI 48858
Phone 989-772-4600 Ext. 241
Fax 989-773-1988

TO: Planning Commission
FROM: Township Planner

New Business

SUBJECT: C) SPR 2019-07 Renaissance Public School Academy expansion.

Applicant: Konwinski Construction Inc.

Owner: Renaissance Public School Academy

Location: PID14-013-30-003-04 2797 S. Isabella Rd. MT PLEASANT, MI 48858

Current Zoning: B-4 (General Business District)

Adjacent Zoning: R-3A, B-4, R-2A

Future Land Use/Intent: Recreation/Institutional: This category is designated primarily for indoor/outdoor recreation both private and publicly owned.

Current Use: Renaissance Public School Academy

Reason for Request: Proposed 9,520 SF school addition.

History: A preliminary site plan was approved in October of 1994 and final approval given in December of 1994 for Renaissance Public School Academy. This site has been expanded since that time including a recent Township staff approved parking expansion in 2008. In the past the owner has complied with zoning requirements from the Township. Currently, I have outside agency approvals from the Mt. Pleasant Fire Department and the Isabella County Transportation Commission. Comments from the Township Utilities has been received by approval not yet given. No approval from the Isabella County Road Commission has been received, nor has stormwater management approval from the Isabella County Drain office. Both the Drain office and Road Commission has been informed of the project. Although sidewalks are not shown on the site plan the applicant is aware that projects along Isabella Rd are required with site plan approval and are not eligible for relief.

Objective of board: The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated.

Recommendation from Township Planner

The Commission may choose to hold off approval of site plan until all approvals are obtained and sidewalks shown on the site plan. I would recommend approval of SPR 2019-07 with the following conditions:

- ICRC, Township Utility, and Storm Water approval is obtained
- Sidewalks are shown on plan and installed along Isabella Rd.
- Lighting is down shielded. Lighting plan submitted for staff approval.

Peter Gallinat
Township Planner

Union Township Site Plan Review Application 2015 Revision

FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review **Final Site Plan Review**
- II. Applicant Name KONWINSKI CONSTRUCTION INC.
- III. Applicant Address 1900 GOVER PKWY, MT. PLEASANT, MI 48858
- IV. Applicant Phone 989-773-2906 Owner Phone 989-773-9889
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V& VI)
Other
- VI. Land Owner Name RENAISSANCE PUBLIC SCHOOL ACADEMY
- VII. Land Owner Address 2797 S. ISABELLA RD. MT. PLEASANT, MI 48858
- VIII. Project/Business Name RENAISSANCE PUBLIC SCHOOL ACADEMY
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off
Storm water management plan approval prior to application. Reviewed by the County Engineer	X	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	X	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	X	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	X	Rick (989) 773 2913, (2) copies
WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	X	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List		
SITE PLAN REQUIREMENTS	I Of	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and addresses of Property Owner	X	
Name and Address of Applicant	X	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	X	

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The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	X	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	X	
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - -	X	
drives, -----	X	
sidewalks, (required) -----	X	
curb openings, -----	X	
acceleration/deceleration lanes, -----	X	
signs, -----	X	
exterior lighting on buildings and parking lots, - -	X	
parking areas (including handicapped parking spaces, barrier-free building access, unloading areas), -----	X	
recreation areas, -----	X	
common use areas, -----	X	
areas to be conveyed for public use and purpose. -	X	
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	X	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	X	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	X	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	X	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	X	

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The zoning of the subject property and the abutting properties.	X	
The location, height and type of fences and walls.	X	
The location and detailed description of landscaping.	X	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	X	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	X	

APPLICANT COMMENTS

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I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.



Signature of Applicant

6/26/19

Date



Signature of Owner (if other than applicant)

6-26-19

Date

PLEASE PLACE OUR REVIEW ON THE JULY 16, 2019 (INSERT DATE)
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You
will not receive a reminder of the scheduled meeting.

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<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____

CHARTER TOWNSHIP OF UNION

SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: RENAISSANCE PUBLIC SCHOOL ACADEMY

Name of business owner(s): SAME AS ABOVE

Street and mailing address: 2797 S. ISABELLA RD.
MT. PLEASANT, MI 48858

Telephone: 989-773-9889

Fax: 989-772-4503

Email: briehl@renaissancepsa.com

I affirm that the information submitted is accurate.

Owner(s) signature and date:



Information compiled by:

SHANEE THAYER, OFFICE MANAGER

CENTRAL MICHIGAN SURVEYING AND DEVELOPMENT, CO.

Part 1: Management of Hazardous Substances and Polluting Materials

1. Y N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y N Will the hazardous substances or polluting materials be reused or recycled on-site??
3. Y N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- —
- a. on-site holding tank
b. on-site system
- The on-site system must be approved by the MDEQ.
Contact: MDEQ Waste Management Division.
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous waste, and other polluting materials) which are expected to be used, stored or generated on-site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
KEY: LIQ. = liquid P.LIQ = pressurized liquid S = solids G = gas PG = pressurized gas				KEY: AGT = above ground tank DM = drums UGT = underground tank CY = cylinders CM = metal cylinders OW = wooden or composition = container TP = portable tank



PERMIT INFORMATION

www.michigan.gov/deqpermits

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-862-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM, WEBPAGE AND CONTACTS
MISCELLANEOUS CONSTRUCTION			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any <i>sewage collection or treatment</i> facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 <u>Construction Permit Program</u>
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous Waste Section, Treatment, Storage and Disposal</u>
WATER SUPPLY (More information, see: http://www.michigan.gov/deqwater, select "drinking water")			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply, DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT			
Storm Water Discharge to Wetlands: Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Great Lakes: Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Inland Lakes and Streams: Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes: Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)			
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS			
Renewable Operating Permit: Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
NPDES: Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Appropriate DEQ District Office, or National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Permits Section, or appropriate DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/siudge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>OWMRP or Appropriate DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? (<u>Web Site</u>)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
CHEMICAL ADDITION PROJECTS			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
OPERATIONAL PERMITS (SECTOR SPECIFIC)			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
PERSONAL LICENSES/CERTIFICATIONS			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
OIL, GAS AND MINERALS		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOWMRP, <u>Radioactive Protection Programs</u>
STORAGE TANKS (CONSTRUCTION AND OPERATION)		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

From: [Peter Gallinat](#)
To: [Jennifer Loveberry](#)
Subject: FW: Renaissance Academy
Date: Thursday, July 11, 2019 2:41:09 PM
Attachments: [image001.png](#)

From: Kim Smith
Sent: Wednesday, July 10, 2019 10:08 AM
To: Peter Gallinat <pgallinat@uniontownshipmi.com>; info@cms-d.com
Cc: Keeler, Randy <rkeeler@mt-pleasant.org>
Subject: RE: Renaissance Academy

Thanks Peter

From: Peter Gallinat <pgallinat@uniontownshipmi.com>
Sent: Wednesday, July 10, 2019 10:05 AM
To: Kim Smith <ksmith@uniontownshipmi.com>; info@cms-d.com
Cc: Keeler, Randy <rkeeler@mt-pleasant.org>
Subject: RE: Renaissance Academy

Kim,

Please see attached forms.

Peter Gallinat
Township Planner
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com

From: Kim Smith
Sent: Tuesday, July 9, 2019 4:02 PM
To: Peter Gallinat <pgallinat@uniontownshipmi.com>; info@cms-d.com
Cc: Keeler, Randy <rkeeler@mt-pleasant.org>
Subject: RE: Renaissance Academy

Peter,
Good afternoon, I have reviewed the site plan for the Renaissance School addition located at 2797 Isabella Road. These comments pertain to site plan approval only.

The parcel/project indicates on the site plan that the existing building and existing onsite fire hydrant is currently serviced by an existing 8" water line. The site plan indicates that this line will be extended and another fire hydrant will be added to the line. Township records show that this water line is a 6" water line vs. an 8" water line (see attached jpg). The plan to extend the onsite water line as shown does not meet Township Specifications. An 8" water line extension is required to be installed to meet the City of Mt. Pleasant Fire Department requirement for the installation of one additional fire hydrant. Prior to permits being issued for this project full plans, profiles, specifications, and layout of the water extension are required to be submitted, reviewed, and approved by the Township Department of Public Services and the Michigan Department of Environment, Great Lakes & Energy (EGLE). In accordance with the City of Mt. Pleasant Fire Department Requirements the water extension shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided.

The required Wellhead protection/Hazardous Substance Form submittals were not received for this project. If this information was submitted with the site plan please forward so that these forms can be reviewed.

At this time the Public Service Department is unable to fully review, comment, or approve this site plan as all of the required information has not been received or does not meet township specifications.

Kim Smith



Department of Public Services
Charter Township of Union
5228 South Isabella Road
Mt. Pleasant, MI 48858
Phone (989) 772-4600 ext. 224
Fax (989) 773-1988
Visit us on the Web at
<http://www.uniontownshipmi.com>

"This institution is an equal opportunity provider, and employer."

From: info@cms-d.com <info@cms-d.com>

Sent: Wednesday, July 3, 2019 11:24 AM

To: Kim Smith <ksmith@uniontownshipmi.com>
Cc: Peter Gallinat <pgallinat@uniontownshipmi.com>
Subject: Renaissance Academy

Kim

Attached is the Renaissance Academy Site Plan submittal.

Please review and let us know if you any comments or questions.

Thank you and have a happy 4th of July.

Shanee Thayer
Office Manger



CMS & D
SURVEYING/ENGINEERING

2257 East Broomfield Road
Mt. Pleasant, MI 48858
Phone: 989-775-0756
Fax: 989-775-5012
Email: info@cms-d.com



Virus-free. www.avg.com

From: [Peter Gallinat](#)
To: [Jennifer Loveberry](#)
Subject: FW: Renaissance Academy
Date: Thursday, July 11, 2019 2:40:56 PM

From: Rick Collins <rcollins@ictcbus.com>
Sent: Wednesday, July 10, 2019 11:03 AM
To: Peter Gallinat <pgallinat@uniontownshipmi.com>
Cc: info@cms-d.com
Subject: RE: Renaissance Academy

I have no issue with the plans

From: Peter Gallinat [<mailto:pgallinat@uniontownshipmi.com>]
Sent: Wednesday, July 10, 2019 10:17 AM
To: Rick Collins <rcollins@ictcbus.com>; Pat Gaffney <PGaffney@isabellaroads.com>
Cc: info@cms-d.com
Subject: FW: Renaissance Academy

Any comments on this project at Renaissance?

Please see attached site plan.

I would think this would be a simple review for your departments.

Its just a proposed new building behind their existing building.

Let me know,

Peter Gallinat
Township Planner
Charter Twp of Union
2010 S. Lincoln Rd.
Mt Pleasant, MI 48858
989-772-4600 x 241
pgallinat@uniontownshipmi.com



Mount Pleasant Fire Department
804 E. High Street
Mount Pleasant, Mi 48858

Union Township Site Plan Review

Wednesday July 3, 2019

Renaissance School

2797 S Isabella RD

Mt. Pleasant, MI 48858

A Site Plan Review was conducted on Wednesday July 3, 2019 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

Violation Code

1 PROPERTY Identification

Renaissance School

2797 S Isabella

Site Plan for 9,520sq. ft. addition to existing school.

ACCESS AND WATER Road and Water Supply

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

ACCESS ROAD 150 FT Buildings within 150ft of Access Road

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements.

Union Township Site Plan Review

ACCESS ROAD TURN AROUND Turn Around Required when Road in

Provide an approved turn around for dead end fire apparatus access roads in excess of 150' in Length in accordance with Chapter 5, Section 503.2.5 and appendix D, Section D103.4 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements.

ACCESS ROAD OBSTRUCTED Dimensions and Clearances

All fire apparatus access roads, including parking lots, shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet 6 inches in accordance with Chapter 5, Sections 503.2.1, 503.2.2, 503.3 and 503.4 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(D)

Site plan meets requirements.

ACCESS ROAD SIGNAGE Signage Requirements

All fire apparatus access roads shall be conspicuously posted with uniform "NO PARKING" or "FIRE LANE" signs in keeping with the standard established in applicable law, or as prescribed by the fire code Official and erected on both sides of the fire apparatus access roads. Signs shall be erected no further than 100 feet apart in all areas designated as fire apparatus access roads. Signs shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility, in accordance with Chapter 5, Section 503.3 of the 2012 Edition of the International Fire Code. Fire Prevention Ordinance 93.02(E)

Where fire truck access roads are in place, not parking stripes or signs are required. No parking signs or stripes are also required in areas adjacent to hydrants.

HYDRANT DISTANCE Hydrant maximum distance from buildings

Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exceptions: 1. For Group R-3 and Group U occupancies, the distance requirement shall be 600 feet (183 m). 2. For buildings equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1 or 903.3.1.2, the distance requirement shall be 600 feet (183 m).

Union Township Site Plan Review

Site plan approved.

An additional hydrant required to meet the 400' distance from the new proposed building. See fire department for location.

KNOX BOX Knox Box Requirements and Location

Provide a Knox Key entry device and install it in approved location by the Fire Code Official, as in accordance with Chapter 5, Section 506.1, 506.1.1 and 506.2 of the 2012 Edition of the International Fire Code. (Go to Knoxbox.com and search by fire department or zip code - select "Mt. Pleasant Fire Department" and place order for the type of Knox box desired.)

WATER SUPPLY (SPACING) Number and Spacing of Hydrants

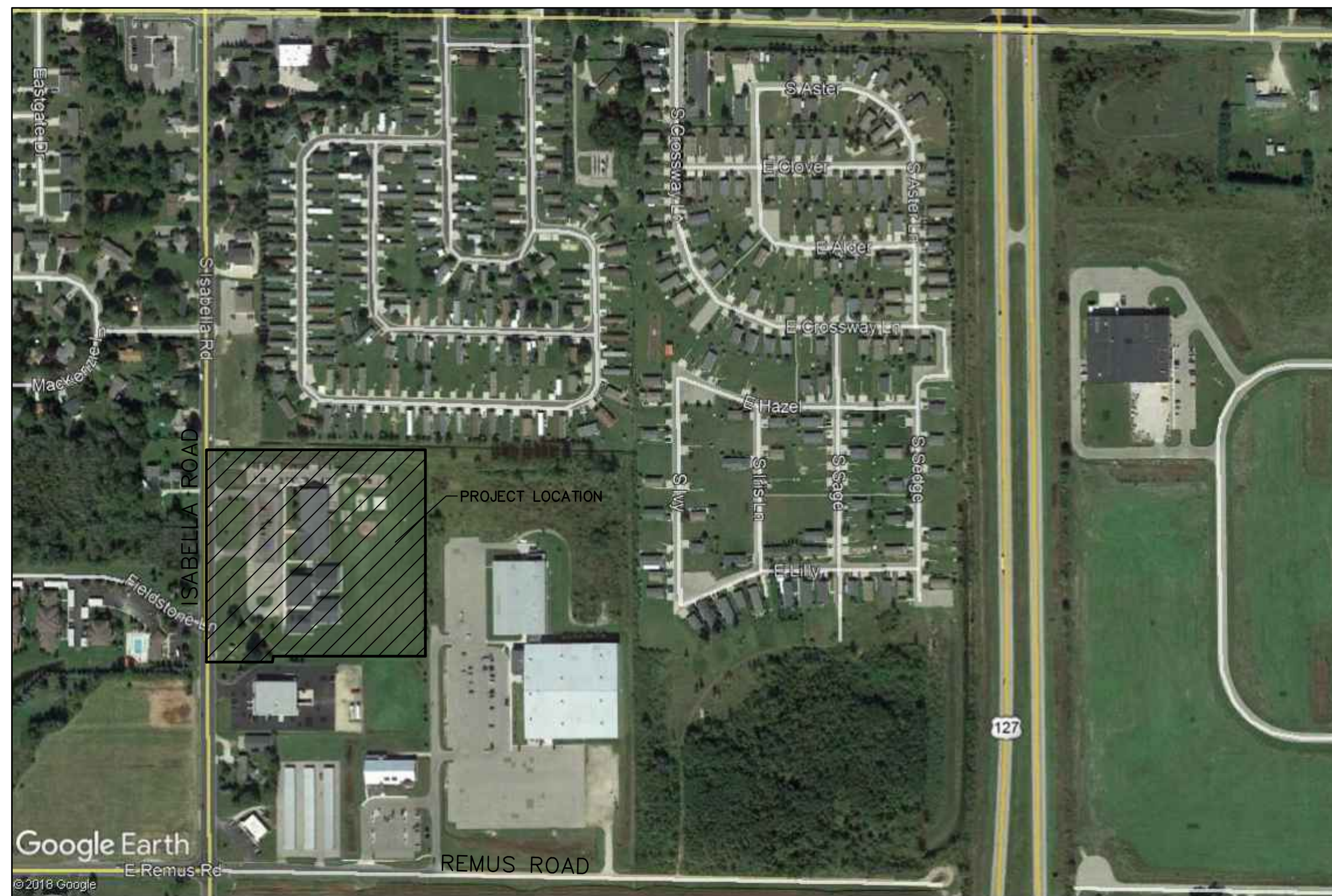
Violation carried over from inspection on 06/13/2019

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

Proposed new building square footage is 9,520. Construction type requires 2000gpm. Two hydrants are required for fire flow. There is one existing onsite hydrant and one new proposed hydrant that meets the requirement above.

Keeler, Randy
Lieutenant
Mount Pleasant Fire Department

RENAISSANCE PUBLIC SCHOOL ACADEMY



LOCATION SKETCH
NOT TO SCALE

B-4 ZONE	
MINIMUM LOT FRONTAGE	80 FT
LOT WIDTH (FEET)	80 FT
MINIMUM LOT AREA	12,000 SQFT
MAXIMUM BUILDING HEIGHT	35 FT
MINIMUM FRONT YARD SETBACK	50 FT (A)
MINIMUM SIDE YARD SETBACK	20 FT (B)
MINIMUM REAR YARD SETBACK	25 FT (B)
MAXIMUM LOT COVERAGE	30%
(BY ALL BUILDINGS)	

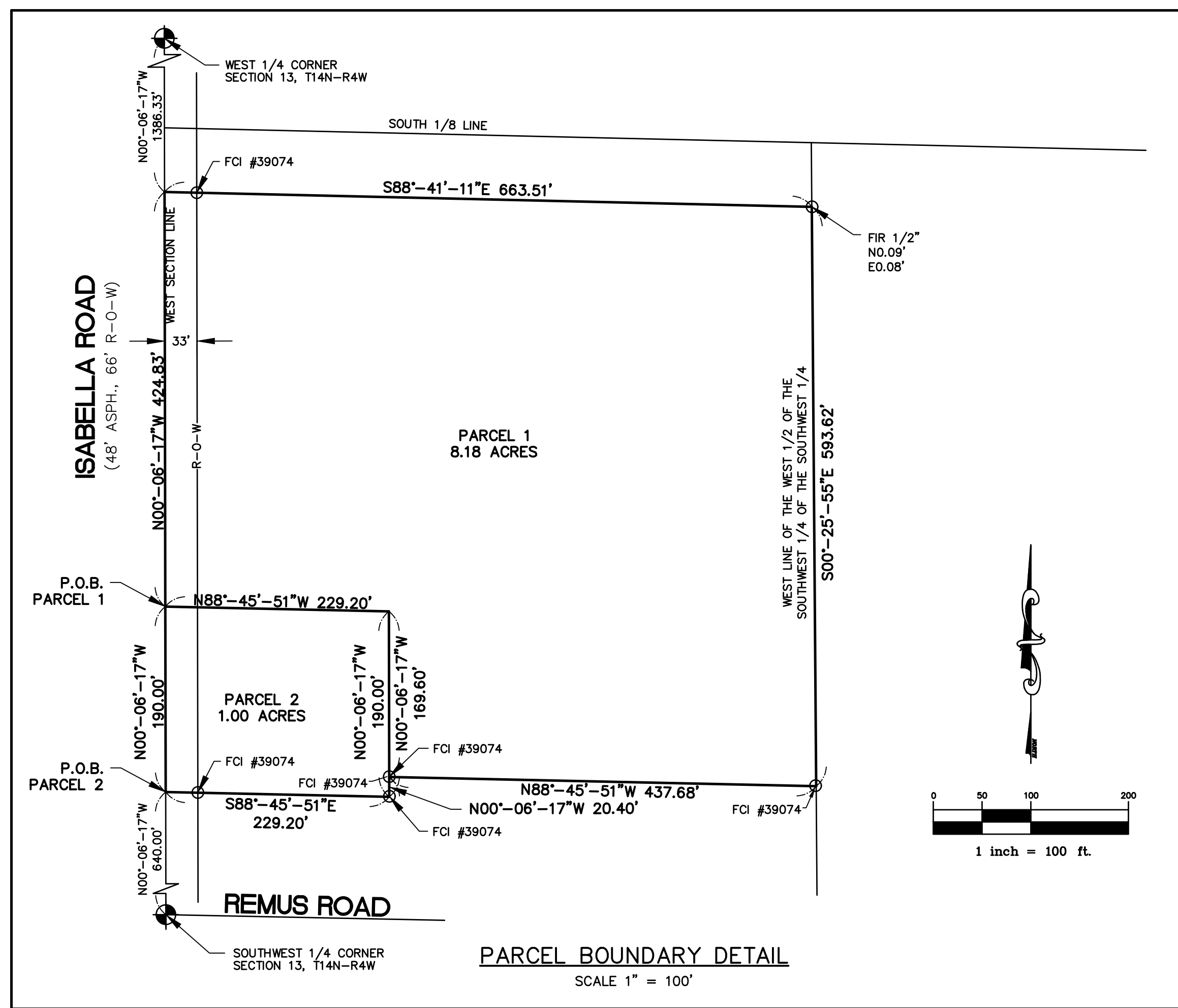
- A. OFF-STREET PARKING SHALL BE PERMITTED TO OCCUPY A PORTION OF THE REQUIRED FRONT YARD, PROVIDED THAT THERE SHALL BE MAINTAINED A MINIMUM UNOBSTRUCTED AND LANDSCAPED SETBACK OF TEN (10) FEET BETWEEN THE NEAREST POINT OF THE OFF STREET PARKING AREAS, EXCLUSIVE OF ACCESS DRIVEWAYS AND THE NEAREST RIGHT-OF-WAY LINE AS INDICATED ON THE MAJOR THOROUGHFARE PLAN.
- B. A LOT IN THE B-4 AND B-5 DISTRICT WILL PROVIDED A SIDE AND REAR YARD OF AT LEAST FORTY (40) FEET WHEN ABUTTING RESIDENTIAL DISTRICT

MISS DIG:
FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL CALL "MISS DIG" 1-800-482-7171 A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY EXCAVATION. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE APPROPRIATELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.

UTILITY NOTE:
THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. UNDERGROUND SERVICE LEADS FOR GAS, ELECTRIC, TELEPHONE AND CABLE MAY BE ACROSS PROPERTY, NO INFORMATION AVAILABLE PLEASE CALL MISS DIG.

LEGEND SYMBOLS			
	BOLLARD		SOIL BORING
	CATCH BASIN (CURB INLET)		STORM SEWER MANHOLE
	CATCH BASIN (ROUND)		TELEPHONE RISER
	CATCH BASIN (SQUARE)		HYDRANT - EXISTING
	CLEAN OUT		HYDRANT - PROPOSED
	DRAINAGE FLOW		LIGHT POLE
	ELECTRICAL BOX		MAILBOX
	FOUND CONC. MONUMENT		MONITORING WELL
	FOUND IRON		SANITARY SEWER MANHOLE
	GAS MAIN VALVE		SET IRON
	GAS RISER		SIGN
	GUY ANCHOR		WATER MAIN VALVE
	TELEPHONE RISER		WATER SHUT-OFF
	HYDRANT - EXISTING		WATER WELL
	HYDRANT - PROPOSED		WOOD STAKE
	TREE - CONIFEROUS		
	TREE - DECIDUOUS		
	UTILITY POLE		

LINETYPES		HATCH PATTERNS	
	ELEC		ASPHALT - EXISTING
	PHONE		ASPHALT - PROPOSED
	DITCH-CL		CONCRETE
	FM		GRAVEL
	GAS		LANDSCAPING
	RD-CL		RIP-RAP
	8" SAN		
	12" SS		
	EX-TOS		
	EX-TOB		
	OHE		
	UTIL		
	12" WM		
	BURIED ELECTRICAL CABLE		
	BURIED TELEPHONE CABLE		
	CENTERLINE OF DITCH		
	FORCE MAIN		
	GAS MAIN		
	ROAD CENTERLINE		
	SANITARY SEWER		
	STORM SEWER		
	TOE OF SLOPE		
	TOP OF BANK		
	UTILITIES - OVERHEAD		
	UTILITIES - UNDERGROUND		
	WATER MAIN		



DESCRIPTION PROVIDED:

PARCEL 1:
A PARCEL OF LAND BEING PART OF THE SW 1/4 OF SECTION 13, T14N-R4W, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, BEGINNING AT A POINT ON THE WEST SECTION LINE WHICH IS N00°-06'-17"W 830.00 FEET FROM THE SOUTHWEST CORNER OF SECTION 13, THENCE N00°-06'-17"W ALONG THE WEST SECTION LINE 424.83 FEET; THENCE S88°-41'-11"E, 663.51 FEET; THENCE S00°-25'-55"E, 593.62 FEET; THENCE N88°-45'-51"W 437.68 FEET; THENCE N00°-06'-17"W, PARALLEL WITH THE WEST SECTION LINE, 169.59 FEET; THENCE N88°-45'-51"W, 229.20 FEET TO THE POINT OF BEGINNING.

PARCEL 2:
A PARCEL OF LAND COMMENCING 640 FEET NORTH OF THE SW CORNER OF SECTION 13, T14N-R4W, THENCE EAST 229.2 FEET (SOMETIMES RECORDED AS 229.02), NORTH 190 FEET, WEST 229.2 FEET (SOMETIMES RECORDED AS 229.02), SOUTH 190 FEET TO THE POINT OF BEGINNING, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN.

BENCHMARK NOTE:
BM #1. NORTHEAST CORNER OF CONCRETE SLAB AT NORTHEAST CORNER OF MAIN BUILDING.
ELEV. = 770.87
BM #2. NORTHEAST BOLT TOP FLANGE FIRE HYDRANT ±65 FEET NORTH AND ±11 FEET WEST OF THE NORTHWEST CORNER OF THE NEW GYM.
ELEV. 771.55

SHEET INDEX	
SHEET 1	COVER SHEET
SHEET 2	EXISTING TOPOGRAPHY
SHEET 3	SITE PLAN
SHEET 4	GRADING PLAN OPTION 1
SHEET 5	GRADING PLAN OPTION 2
SHEET 6	DETAIL SHEET 1
SHEET 7	DETAIL SHEET 2

OWNER: RENAISSANCE PUBLIC SCHOOL ACADEMY
CONTRACTOR: KONWINSKI CONSTRUCTION
CONTACT: JOE FLEMING
1900 GROVER PARKWAY
MT. PLEASANT, MI 48858
PHONE: (989) 773-2906

CONSULTANT: CENTRAL MICHIGAN SURVEYING & DEVELOPMENT CO., INC.
8114 EAST PICKARD ST.
MT. PLEASANT, MICHIGAN 48858
CONTACT PERSON: TIMOTHY E BEBEE
PHONE: (989) 775-0756
FAX: (989) 775-5012

CHARTER COMMUNICATIONS
915 E. BROOMFIELD ROAD
MT. PLEASANT, MI 48858
(989) 621-4932
RANDY BUNKER
rbunker@chartercom.com

CONSUMERS ENERGY
1325 WRIGHT AVENUE
ALMA, MI 48801
(989) 463-0392
KIM STUDT
kimberly.studt@cmsenergy.com

FRONTIER
345 PINE STREET
KENTWOOD, MI 49512
(989) 466-4282
MARK A. MARSHALL
Mark.Marshall@ftr.com

DTE ENERGY
4420 44TH ST., S.E., SUITE B
KENTWOOD, MI 49512
(616) 954-4623
MARY JO MCKERSE
mckersem@dteenergy.com

MT. PLEASANT FIRE DEPARTMENT
804 EAST HIGH STREET
MT. PLEASANT, MI 48858
(989) 779-5100 EXT 5122
SGT. RANDY KEELER
rkeeler@mt-pleasant.org

CHARTER TOWNSHIP OF UNION
PUBLIC WATER/PUBLIC SEWER
2010 N. LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 24
KIM SMITH
ksmith@uniontownshipmi.com

CHARTER TOWNSHIP OF UNION
PLANNING & ZONING
2010 NORTH LINCOLN ROAD
MT. PLEASANT, MI 48858
(989) 772-4600 EXT 241
PETER GALLINAT
pgallinat@uniontownshipmi.com

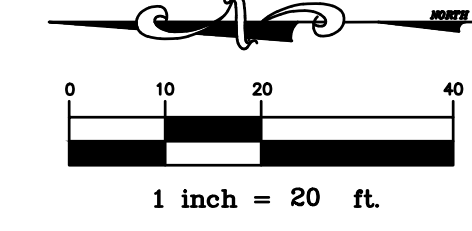
DRAIN COMMISSIONERS OFFICE
ISABELLA COUNTY BUILDING
200 NORTH MAIN STREET ROOM 140
MT. PLEASANT, MI 48857
(989) 772-0911
RICK JAKUBIEC
drain@isbellacounty.org

ISABELLA COUNTY ROAD COMMISSION
2261 EAST REMUS ROAD
MT. PLEASANT, MI 48858
(989) 773-7131 EXT 115
PATRICK GAFFNEY
P.Gaffney@isbellaroads.com

CMS & D
SURVEYING / ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com

COVER SHEET
RENAISSANCE PUBLIC SCHOOL ACADEMY
PART OF THE SOUTHWEST 1/4
SECTION 13, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

REVISIONS:	REVISIONS PER CLIENT	REVISIONS PER MT. PLEASANT FIRE
5-16-19	5-16-19	5-13-19
5-6-19	5-6-19	6-6-19
7-2-19	7-2-19	7-2-19
JOB NUMBER:	1901-005	
DRAWN BY:	WRE	
DESIGNED BY:	N/A	
CHECKED BY:	TELB	
SCALE:	N/A	
SHEET NUMBER:	1	7



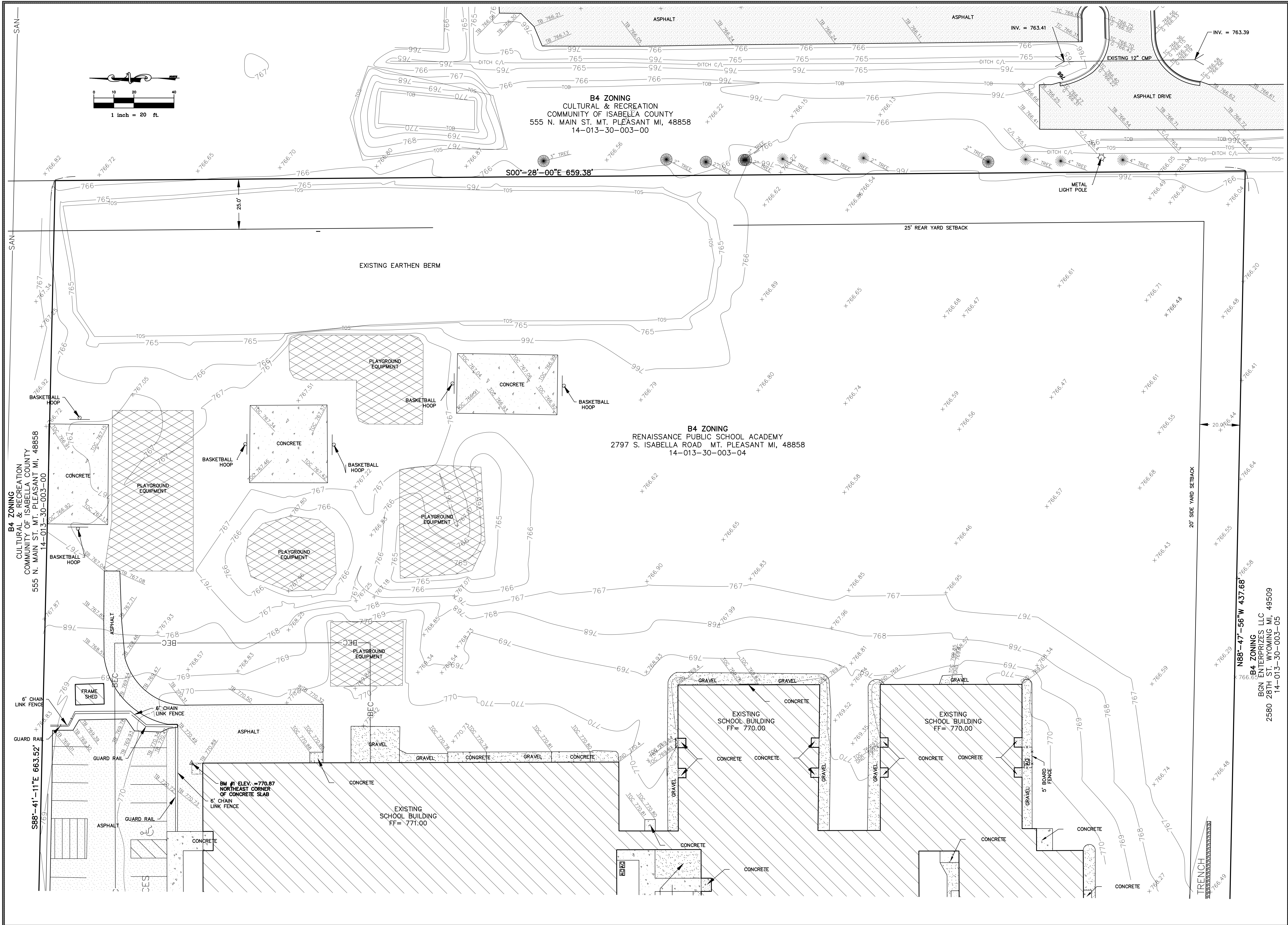
B4 ZONING
 CULTURAL & RECREATION
 COMMUNITY OF ISABELLA COUNTY
 555 N. MAIN ST. MT. PLEASANT MI, 48858
 14-013-30-003-00

B4 ZONING
 RENAISSANCE PUBLIC SCHOOL ACADEMY
 2797 S. ISABELLA ROAD MT. PLEASANT MI, 48858
 14-013-30-003-04

CMS & D
 SURVEYING / ENGINEERING
 2257 EAST BROOMFIELD ROAD
 MT. PLEASANT, MICHIGAN 48858
 PHONE: (989) 775-0756
 FAX: (989) 775-5012
 EMAIL: info@cems-d.com



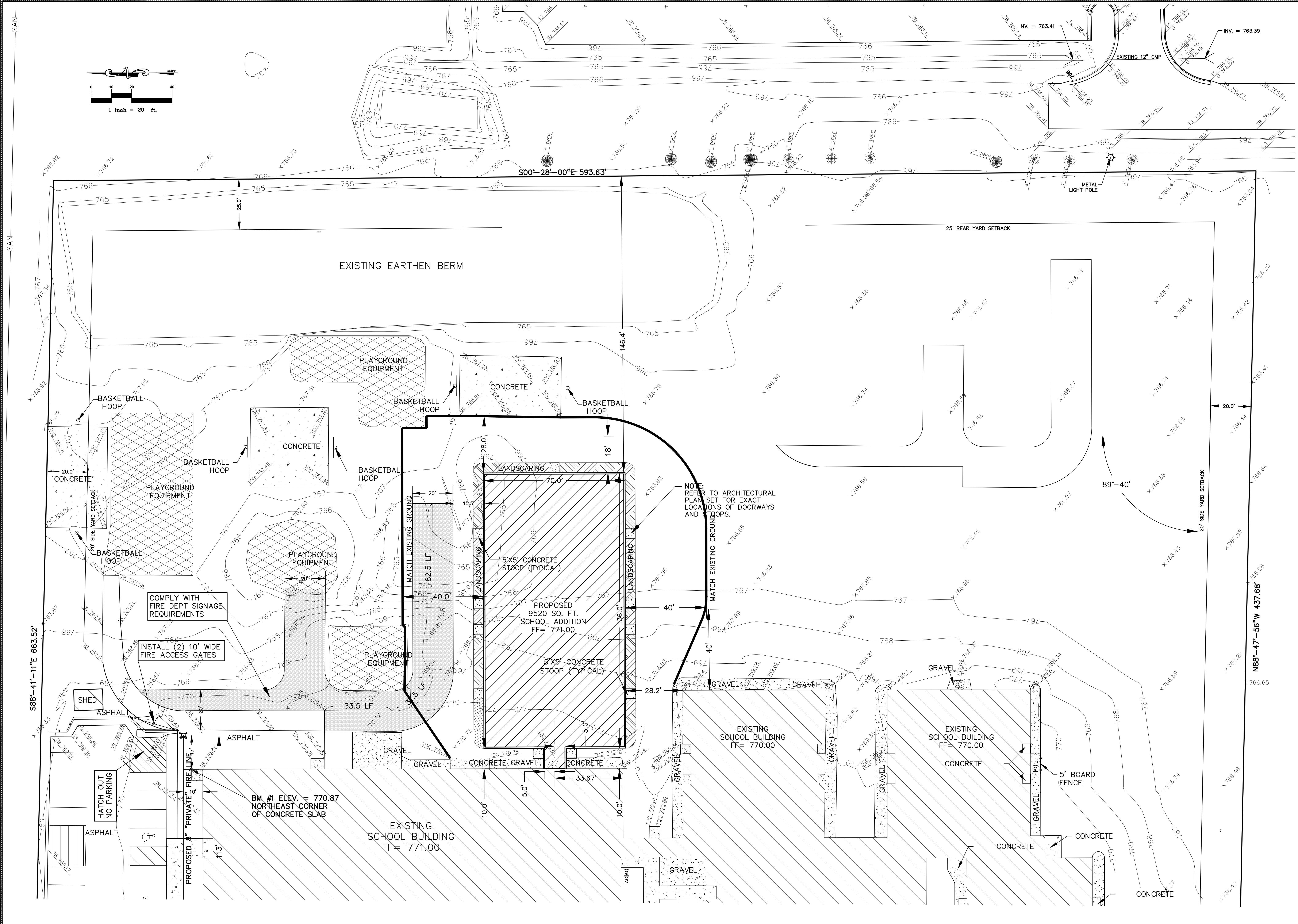
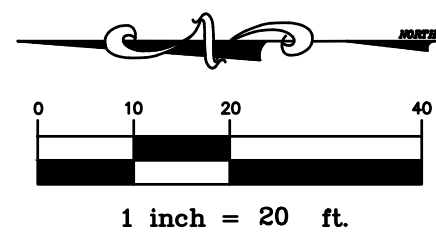
EXISTING TOPOGRAPHY
 RENAISSANCE PUBLIC SCHOOL ACADEMY
 PART OF THE SOUTHWEST 1/4
 SECTION 13, T14N-R4W
 UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN



B4 ZONING
 CULTURAL & RECREATION
 COMMUNITY OF ISABELLA COUNTY
 555 N. MAIN ST. MT. PLEASANT MI, 48858
 14-013-30-003-00

B4 ZONING
 BGN ENTERPRIZES LLC
 2580 28TH ST. WYOMING MI, 49509
 14-013-30-003-05

SCALE	1" = 20'
JOB NUMBER:	1901-005
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
SHEET NUMBER	2 OF 7
REVISIONS:	SUBMITTALS: SUBMITTAL TO CLIENT 5-6-19 SUBMITTAL TO MT. PLEASANT FIRE 6-6-19 SUBMITTAL TO UNION TWP PLANNING 7-2-19 REVISIONS PER CLIENT 5-16-19 REVISIONS PER MT. PLEASANT FIRE 5-13-19



NOTE: REFER TO ARCHITECTURAL PLAN SET FOR EXACT LOCATIONS OF DOORWAYS AND STOOPS.

COMPLY WITH FIRE DEPT SIGNAGE REQUIREMENTS
INSTALL (2) 10' WIDE FIRE ACCESS GATES

BM #1 ELEV. = 770.87
NORTHEAST CORNER OF CONCRETE SLAB

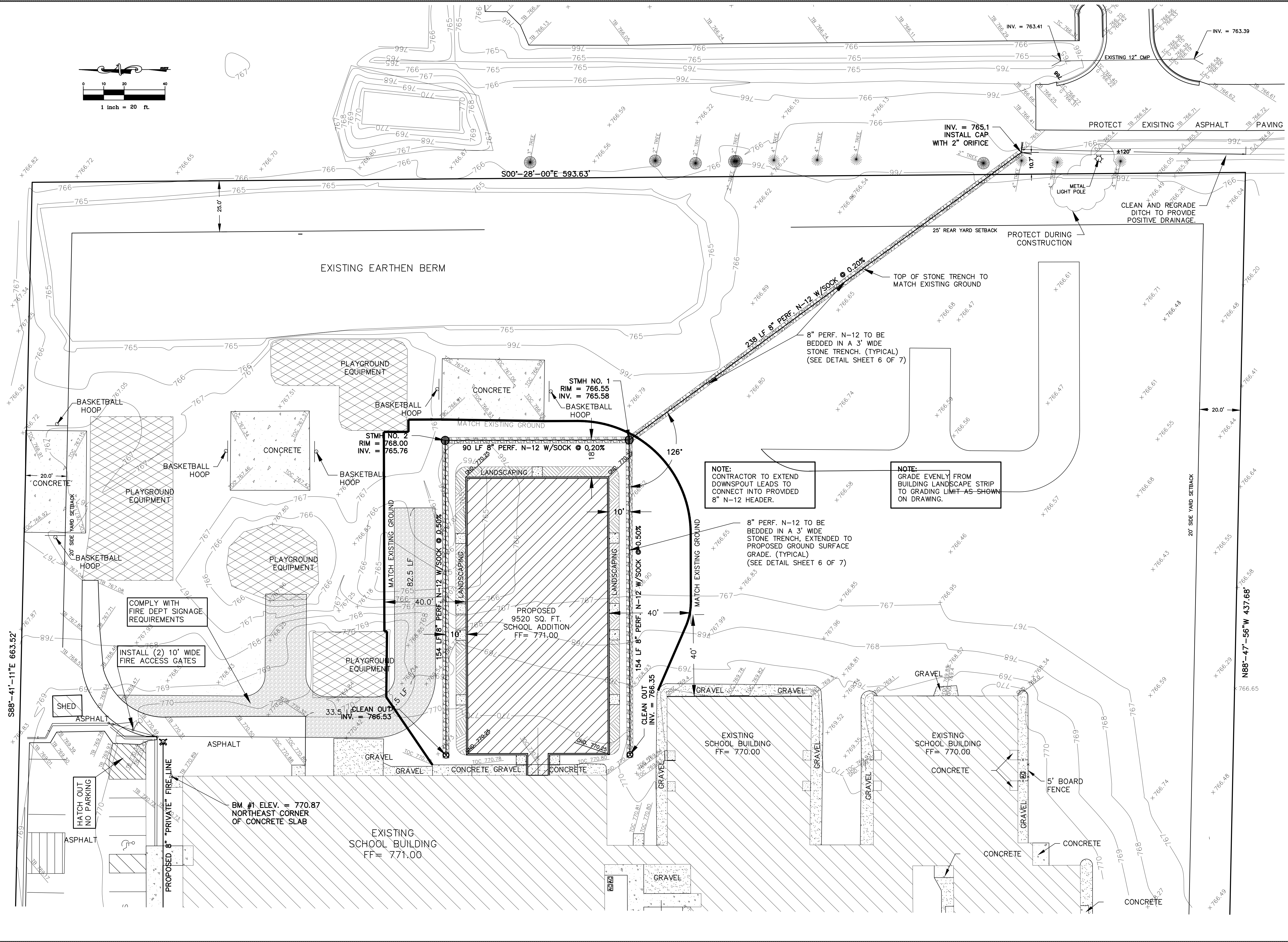
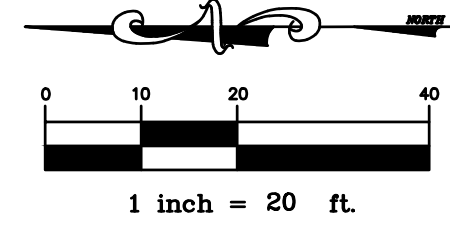
CMS & D
SURVEYING / ENGINEERING
2257 EAST BROOMFIELD ROAD
MT. PLEASANT, MICHIGAN 48858
PHONE: (989) 775-0756
FAX: (989) 775-5012
EMAIL: info@cms-d.com



SITE PLAN
RENAISSANCE PUBLIC SCHOOL ACADEMY
PART OF THE SOUTHWEST 1/4
SECTION 13, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

SUBMITTALS:		REVISIONS:	
1901-005	SUBMITTAL TO CLIENT 5-6-19	5-16-19	REVISIONS PER CLIENT 5-16-19
WRE	SUBMITTAL TO MT. PLEASANT FIRE 6-6-19	5-13-19	REVISIONS PER MT. PLEASANT FIRE 5-13-19
N/A	SUBMITTAL TO UNION TWP PLANNING 7-2-19		
N/A	DESIGNED BY:		
TELB	CHECKED BY:		

SCALE
1" = 20'
SHEET NUMBER
3 of 7



S88°-41'-11"E 663.52'

S00°-28'-00"E 593.63'

N88°-47'-56"W 437.68'

EXISTING EARTHEN BERM

STMH NO. 1
RIM = 766.55
INV. = 765.58

STMH NO. 2
RIM = 768.00
INV. = 765.76

PROPOSED
9520 SQ. FT.
SCHOOL ADDITION
FF = 771.00

NOTE:
CONTRACTOR TO EXTEND
DOWNSPOUT LEADS TO
CONNECT INTO PROVIDED
8" N-12 HEADER.

NOTE:
GRADE EVENLY FROM
BUILDING LANDSCAPE STRIP
TO GRADING LIMIT AS SHOWN
ON DRAWING.

8" PERF. N-12 TO BE
BEDDED IN A 3' WIDE
STONE TRENCH, EXTENDED TO
PROPOSED GROUND SURFACE
GRADE. (TYPICAL)
(SEE DETAIL SHEET 6 OF 7)

8" PERF. N-12 TO BE
BEDDED IN A 3' WIDE
STONE TRENCH TO
MATCH EXISTING GROUND

COMPLY WITH
FIRE DEPT SIGNAGE
REQUIREMENTS

INSTALL (2) 10' WIDE
FIRE ACCESS GATES

BM #1 ELEV. = 770.87
NORTHEAST CORNER
OF CONCRETE SLAB

EXISTING
SCHOOL BUILDING
FF = 771.00

EXISTING
SCHOOL BUILDING
FF = 770.00

EXISTING
SCHOOL BUILDING
FF = 770.00



GRADING/STORM SEWER PLAN OPTION 1
RENAISSANCE PUBLIC SCHOOL ACADEMY
PART OF THE SOUTHWEST 1/4
SECTION 13, T14N-R4W
UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN

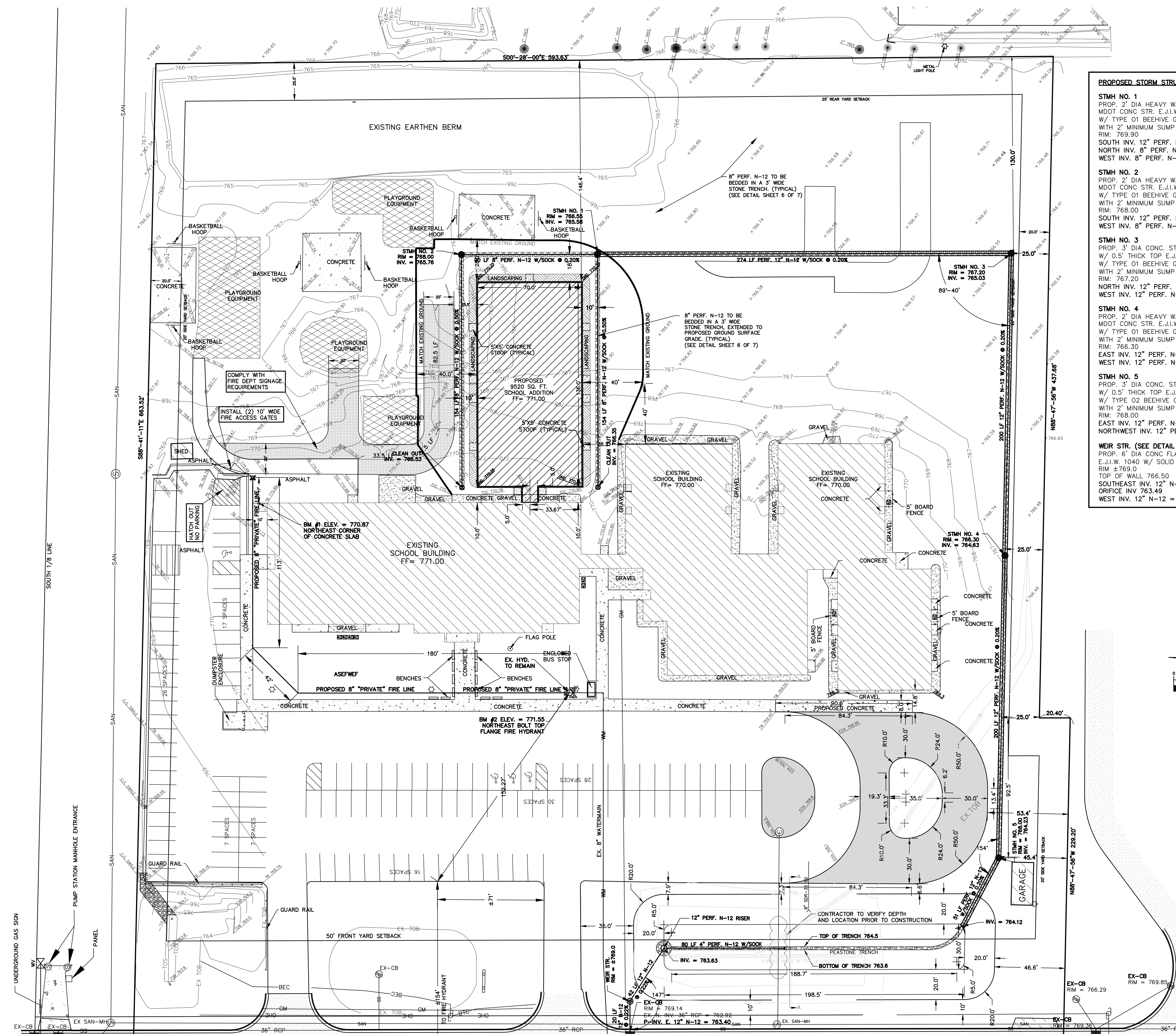
REVISIONS:

REVISIONS PER CLIENT 5-16-19
REVISIONS PER MT. PLEASANT FIRE 5-13-19

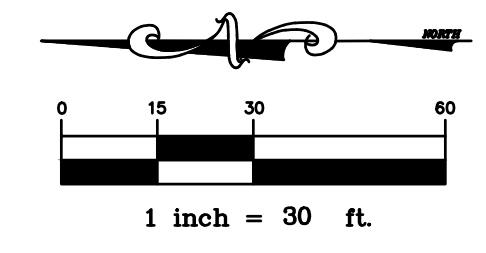
SUBMITTALS:

5-6-19	TO CLIENT
6-6-19	TO MT. PLEASANT FIRE
7-2-19	TO UNION TWP PLANNING

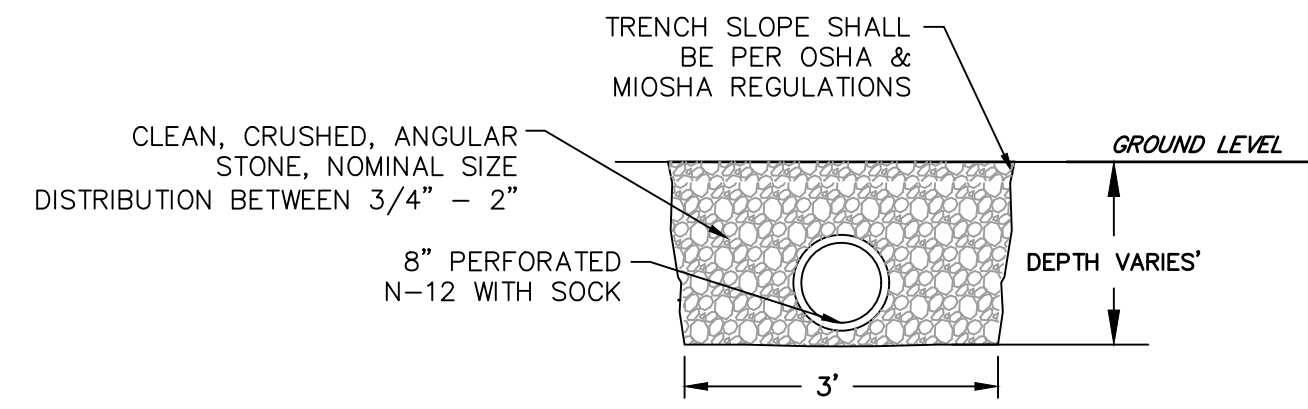
SCALE	1" = 20'
JOB NUMBER:	1901-005
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
SHEET NUMBER	4 OF 7



- PROPOSED STORM STRUCTURES**
- STMH NO. 1**
 PROP. 2' DIA HEAVY WALL,
 MDOT CONC STR. E.J.I.W. 2850
 W/ TYPE 01 BEEHIVE GRATE
 WITH 2' MINIMUM SUMP
 RIM: 769.90
 SOUTH INV. 12" PERF. N-12 W/SOCK = 765.58
 NORTH INV. 8" PERF. N-12 W/SOCK = 765.58
 WEST INV. 8" PERF. N-12 W/SOCK = 765.58
- STMH NO. 2**
 PROP. 2' DIA HEAVY WALL,
 MDOT CONC STR. E.J.I.W. 2850
 W/ TYPE 01 BEEHIVE GRATE
 WITH 2' MINIMUM SUMP
 RIM: 768.00
 SOUTH INV. 12" PERF. N-12 W/SOCK = 765.76
 WEST INV. 8" PERF. N-12 W/SOCK = 765.76
- STMH NO. 3**
 PROP. 3' DIA CONC. STR.
 W/ 0.5' THICK TOP E.J.I.W. 2850
 W/ TYPE 01 BEEHIVE GRATE
 WITH 2' MINIMUM SUMP
 RIM: 767.20
 NORTH INV. 12" PERF. N-12 W/SOCK = 765.03
 WEST INV. 12" PERF. N-12 W/SOCK = 765.03
- STMH NO. 4**
 PROP. 2' DIA HEAVY WALL,
 MDOT CONC STR. E.J.I.W. 2850
 W/ TYPE 01 BEEHIVE GRATE
 WITH 2' MINIMUM SUMP
 RIM: 766.30
 EAST INV. 12" PERF. N-12 W/SOCK = 764.63
 WEST INV. 12" PERF. N-12 W/SOCK = 764.63
- STMH NO. 5**
 PROP. 3' DIA CONC. STR.
 W/ 0.5' THICK TOP E.J.I.W. 1040
 W/ TYPE 02 BEEHIVE GRATE
 WITH 2' MINIMUM SUMP
 RIM: 768.00
 EAST INV. 12" PERF. N-12 W/SOCK = 764.23
 NORTHWEST INV. 12" PERF. N-12 W/SOCK = 764.23
- WEIR STR. (SEE DETAIL SHEET 7 OF 7)**
 PROP. 6' DIA CONC FLAT TOP
 E.J.I.W. 1040 W/ SOLID LID
 RIM ±769.0
 TOP OF WALL 766.50
 SOUTHEAST INV. 12" N-12 = 763.54
 ORIFICE INV 763.49
 WEST INV. 12" N-12 = 763.44



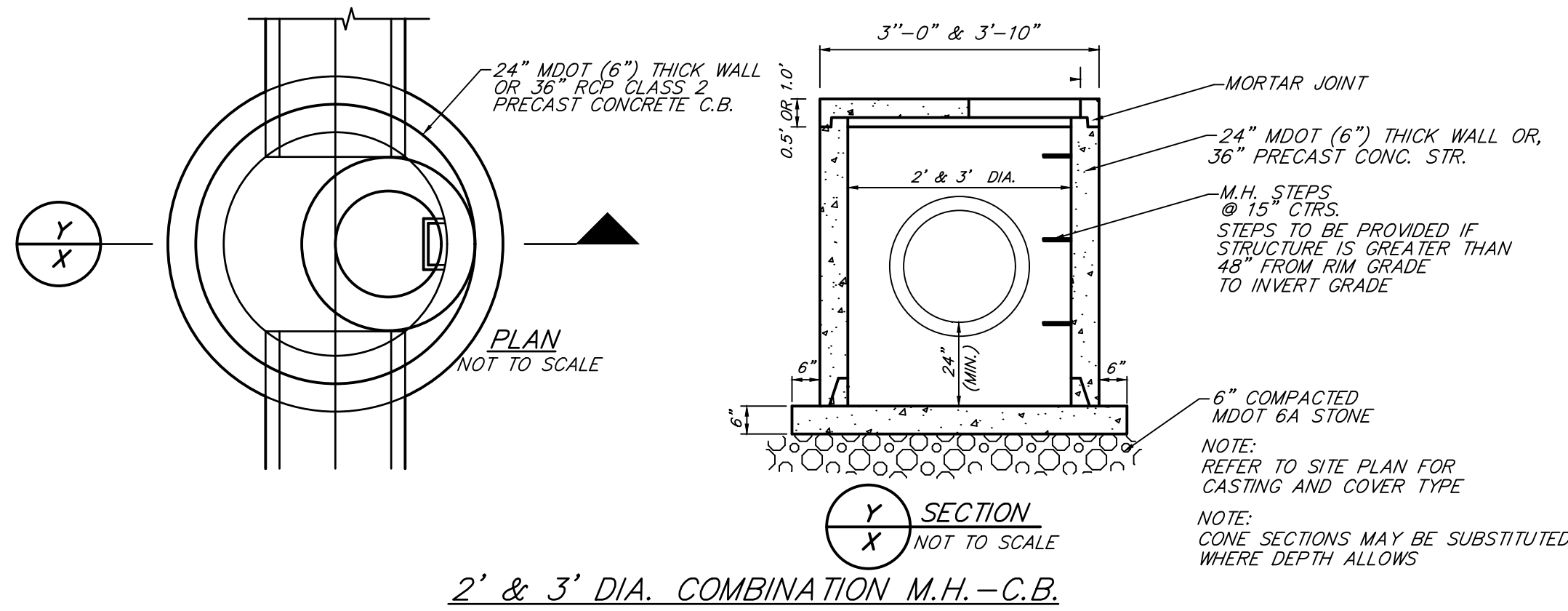
SCALE	1" = 30'
SHEET NUMBER	5 OF 7
JOB NUMBER:	1901-005
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB
REVISIONS:	SUBMITTAL TO CLIENT 5-6-19 SUBMITTAL TO MT. PLEASANT FIRE 6-6-19 SUBMITTAL TO UNION TWP PLANNING 7-2-19
REVISIONS PER CLIENT	5-16-19
REVISIONS PER MT. PLEASANT FIRE	5-13-19



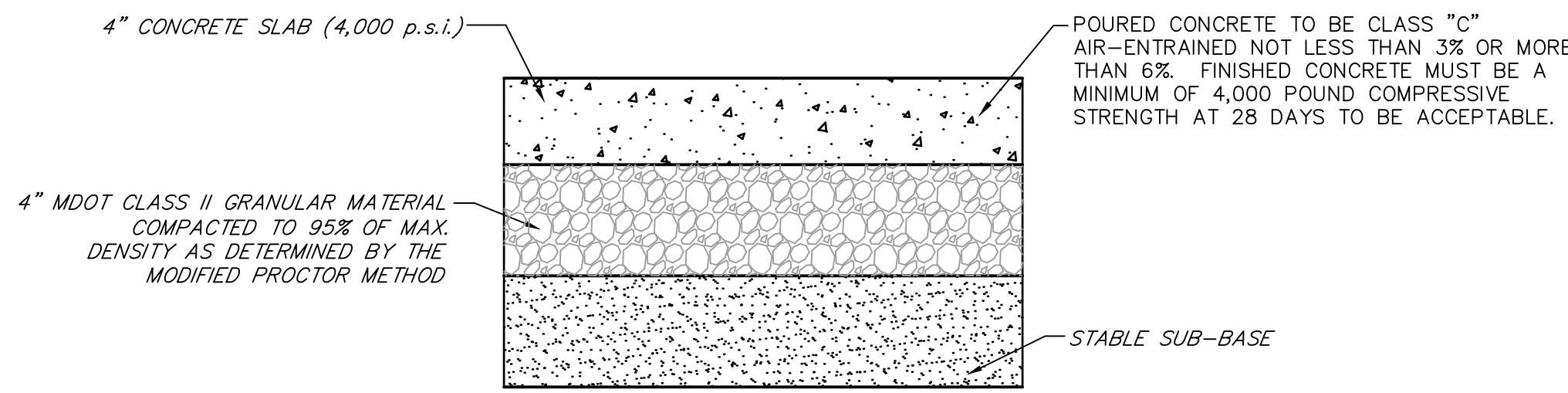
3' WIDE TRENCH DETAIL
NOT TO SCALE

TRENCH WIDTH CHART

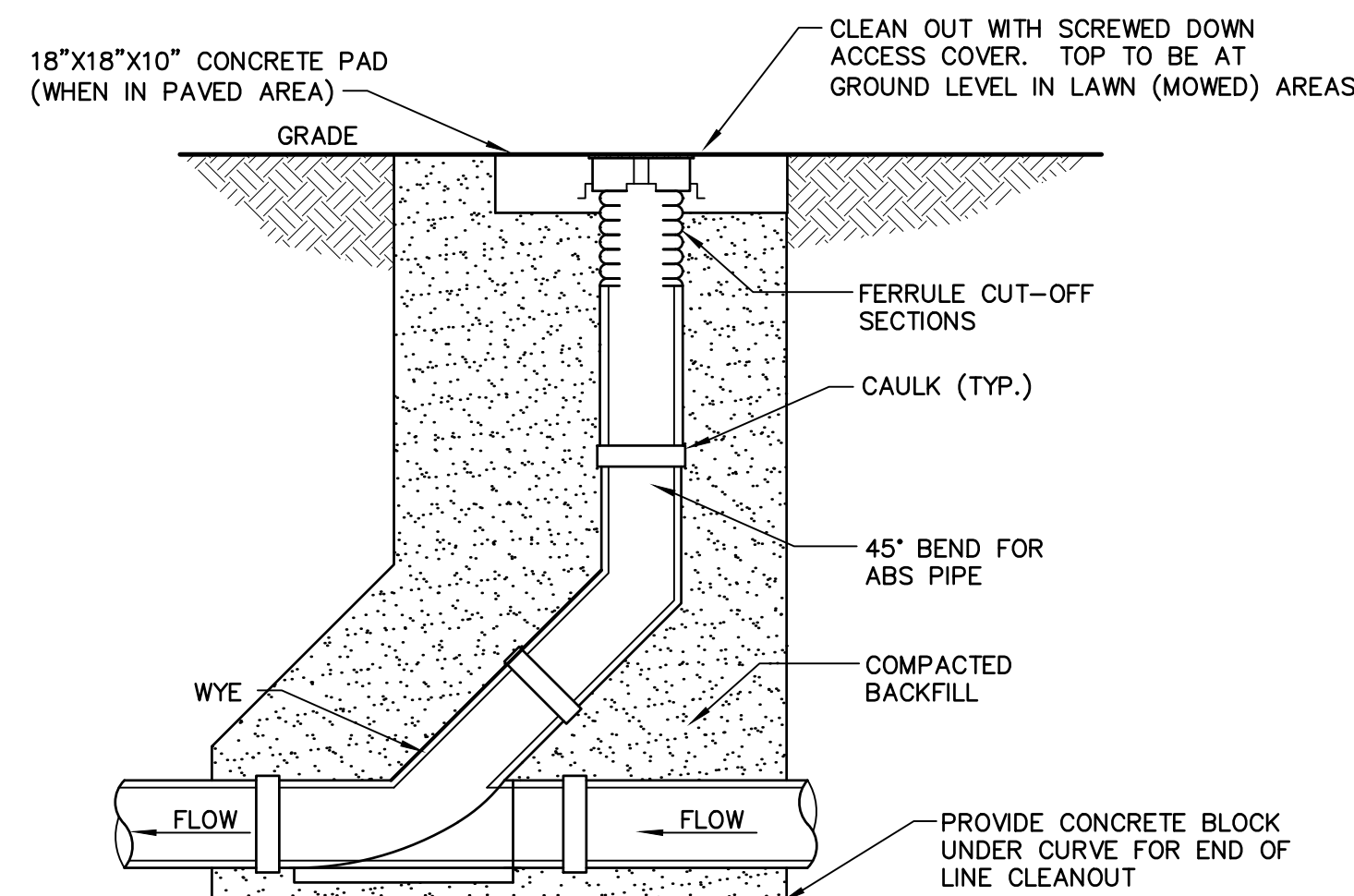
PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	36"	40"
21"	42"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	59"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"



2' & 3' DIA. COMBINATION M.H.-C.B.



CONCRETE CROSS-SECTION
NOT TO SCALE



CLEAN OUT DETAIL
NOT TO SCALE

STORM WATER CALCULATIONS:
 Allowable Discharge (0.10 cfs/acre) - 0.22 acres * 0.10 cfs/acre = 0.022 cfs
 Total Contributing Area = 9520 sq. ft. 0.22 acres
 Total (NEW) Impervious Area = 9520 sq. ft. 0.22 acres
 Total (NEW) Pervious Area = -9,520 sq. ft. 0.22 acres
 Design Ponding Elevation = 766.50
 Invert of restrictor elevation = 765.10

Restrictor Calculation
 Formula: $a = Qa / 0.62[64.4(h)]^{1/2}$
 $a = \text{Area of orifice in sq. ft.}$
 $Qa = \text{Allowable outflow}$
 $h = (2/3) * (766.50 - 765.10) = 1.40$
 $a = 0.022 \text{ cfs} / 0.62 [(64.4) * (0.93)]^{1/2}$
 $a = 0.004585 \text{ sq. ft.}$
 $a = (\pi * D) / 4 = D = 0.0764 \text{ ft} = 0.917 \text{ inches (USE 2" ORIFICE)}$

2" Restrictor Calculation
 Formula: $a = Qa / 0.62[64.4(h)]^{1/2}$
 $a = \text{Area of orifice in sq. ft.} = 0.0218 = 2" \text{ ORIFICE}$
 $Qa = \text{Allowable outflow to be calculated}$
 $h = (2/3) * (766.50 - 765.10) = 1.40$
 $a = (0.0218) * 0.62 [(64.4) * (0.93)]^{1/2}$
 $Qa = 0.105 \text{ cfs FOR 2" ORIFICE}$

PROVIDED STORAGE VOLUME WITHIN PIPING & STONE TRENCH

TOTAL LENGTH OF 8" PIPING = 638 LF
 AREA OF 8" PIPE = $3.14 * (D * D) / 4 = 0.35 \text{ SF}$
 TOTAL VOLUME WITHIN PIPING = 223 CF

TOTAL LENGTH OF STONE TRENCH = 638 LF
 AVG AREA OF STONE TRENCH (1.5' * 3') = 4.5 SF/LF
 TOTAL VOLUME OF STONE = 2,871 CF (LESS PIPE VOLUME) = 2,648 CF
 VOLUME OF WATER WITHIN STONE = 40 PERCENT
 STORM WATER VOLUME IN STONE = 2,648 CF * 0.40 = 1,059 CF

TOTAL VOLUME WITHIN SYSTEM = 1,282 CF AT 766.75

REQUIRED STORAGE 25 YEAR - 24 HOUR STORM = 1,131 CF

NOTE:
 DURING RAINFALL EVENTS WHICH EXCEED TO DESIGN STORM (100 YR/24 HR, THE SYSTEM WILL OVERFLOW AND SPREAD ACROSS THE GRASS FIELD AREA. THE FLOW WILL DIRECT ITSELF TO THE SOUTHEAST AND EVENTUALLY DRAIN TO THE DITCHLINE ALONG THE PRIVATE DRIVE TO THE EAST OF THE PROJECT SITE.
 THIS SYSTEM HAS BEEN DESIGNED TO ACCOUNT FOR THE TRANSFER OF 9,520 SF OF GRASS AREA TO ROOF AREA. THE RUNOFF COEFFICIENT CHANGE FROM 0.3 TO 0.9.

GENERAL NOTES: (OPTIONS 1 AND 2)

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY COMPANY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE LOCATION AND DEPTH OF UNDERGROUND UTILITIES WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN. THE CONTRACTOR SHALL CALL "MISS DIG" (1-800-482-7171) A MINIMUM OF 3 WORKING DAYS PRIOR TO ANY CONSTRUCTION OR PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND SHALL MAKE EVERY EFFORT TO PROTECT AND OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR WHERE POSSIBLE CONFLICTS EXIST PRIOR TO BEGINNING CONSTRUCTION.

THE LOCATION OF EXISTING UTILITIES SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY GROUND CONDITIONS, EXISTING UTILITIES, LOT AND BUILDING DIMENSIONS PRIOR TO THE START OF CONSTRUCTION. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THE PLANS. ARRANGE TO HAVE UTILITIES IDENTIFIED AND FLAGGED BEFORE STARTING CONSTRUCTION. THE OWNER ASSUMES NO LIABILITY FOR THE LOCATION OF UTILITIES. ALL DAMAGES MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

ALL CONSTRUCTION UNDER EXISTING OR PROPOSED PAVEMENT, EXISTING OR PROPOSED UTILITIES (INCLUDING LEADS), SHALL BE COMPLETELY BACKFILLED WITH SAND IN 12" LAYERS, AND COMPACTED TO NOT LESS THAN 95% OF ITS MAXIMUM UNIT WEIGHT, AS DETERMINED BY THE MODIFIED PROCTOR METHOD. THE COST IS TO BE INCLUDED IN THE UNIT PRICE BID FOR EACH ITEM.

THE CONTRACTOR SHALL CONFORM TO SOIL EROSION AND SEDIMENTATION CONTROL PART 91 OF PUBLIC ACT 451 OF 1994, AS AMENDED.

GEOTEXTILE FILTER BAGS SHALL BE USED AT ALL CATCH BASINS FOR SOIL AND SEDIMENTATION CONTROL. ALL CATCH BASINS SHALL BE CLEANED UPON COMPLETION OF THE PROPOSED PROJECT. COST FOR CLEANING THE CATCH BASINS SHALL BE INCLUDED IN THE COSTS FOR THE DRAINAGE STRUCTURES.

TOPSOIL SHALL BE STOCKPILED ON THE SITE AND USED AS TOPSOIL SURFACES AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. TOPSOIL WILL NEED TO BE SPREAD IN THE BASIN AREA TO A MINIMUM DEPTH OF 6 INCHES. THE BERMS SHOWN ON THE PLANS WILL NEED TO BE TOPSOIL OR TO HAVE A MINIMUM OF 6 INCHES ON TOPSOIL SPREAD OVER THEM. THE CURB ISLANDS WILL BE FILLED AS SPECIFIED WITH TOPSOIL. THE INTENT IS FOR THE CONTRACTOR AND THE LANDSCAPER TO USE THE EXISTING TOPSOIL TO COMPLETE THE PROJECT PRIOR TO HAULING ANY TOPSOIL ONTO THE SITE. UNSUITABLE TOPSOILS MUST BE DISPOSED OF DURING THE CLEANUP. ANY REMAINING STOCKPILES WILL NEED TO BE REMOVED. SOIL EROSION MEASURES MUST BE TAKEN TO ASSURE THAT THESE STOCKPILES ARE STABILIZED.

THE CONTRACTOR SHALL SEED AND FERTILIZE DITCH BANKS, SOILS PILES OR BANKS AND ANY OTHER DISTURBED AREAS AS SHOWN ON THE PLANS AND/OR DESCRIBED IN THE SPECIFICATIONS.

THE CONTRACTOR SHALL BACKFILL, COMPACT AND FINE GRADE ALL AREAS BETWEEN THE CURBS AND PAVEMENT AND THE PROPERTY LINES WITH TOPSOIL SUITABLE FOR LANDSCAPING. THE GRADES IN THESE AREAS WILL BE AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.

THE UNPAVED AREAS SHALL BE SMOOTHLY GRADED AND THE SURFACE STABILIZED BY SEEDING AS STATED ON THE PLANS. THE MAXIMUM DESIRABLE SLOPE IS 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE STATED.

THE CONTRACTOR SHALL FURNISH AND INSTALL PLAIN RIP-RAP BANK PROTECTION IN AREAS WHERE BANK EROSION WILL MOST LIKELY OCCUR OR AS DIRECTED BY THE ENGINEER.

BROKEN CONCRETE AND DEBRIS SHALL BE CONSIDERED WASTE TO BE DISPOSED OF BY THE CONTRACTOR.

ALL DEWATERING REQUIRED FOR CONSTRUCTION SHALL BE INCLUDED IN THE UNIT PRICE BID.

ALL JOINTS AT INTERSECTION APPROACHES AND DRIVEWAYS SHALL BE SAWCUT WITH BUTT-JOINTS. THE COST SHALL BE INCLUDED WITH THE PAYMENT FOR EXCAVATION.

THE CONTRACTOR SHALL MAINTAIN LOCAL TRAFFIC AT ALL TIMES ON THE PROJECT. THE COST IS TO BE INCLUDED IN THE LUMP SUM FEE.

ALL WATER VALVE BOXES, ELECTRICAL BOXES, GAS VALVES AND ANY OTHER EXISTING UTILITY STRUCTURES ON THE SITE SHALL BE ADJUSTED TO FINISHED GRADE. THE COST SHALL BE INCLUDED IN THE LUMP SUM FEE.

GENERAL NOTES: (OPTIONS 1 AND 2)

THE SANITARY SEWER AND WATERMAIN MUST CONFORM TO UNION TOWNSHIP STANDARDS AND SPECIFICATIONS. SHOULD THERE BE A CONFLICT BETWEEN THE PLANS, NOTES, DETAILS AND SPECIFICATIONS, THE UNION TOWNSHIP STANDARDS SHALL GOVERN. THE CONTRACTOR WILL NOTIFY THE ENGINEER AS SOON AS A CONFLICT IS FOUND. INSTALLATION OF THESE UTILITIES SHALL BE COORDINATED BY THE CONTRACTOR WITH THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS DIRECTOR.

ELECTRIC SERVICES TO THE BUILDING AND PARKING LOT LIGHTING SHALL BE UNDERGROUND. SITE CONTRACTOR SHALL COORDINATE WITH THE ELECTRICAL CONTRACTOR IN REGARDS TO CONDUIT SLEEVES.

ALL SERVICE LINES ARE SHOWN FOR REFERENCE ONLY. THE EXACT LOCATIONS TO BE DETERMINED BY THE OWNER AND/OR UTILITY COMPANY.

INSTALLATION OF GAS, ELECTRIC AND TELEPHONE SERVICES (INCLUDING TRANSFORMER PAD LOCATIONS) SHALL BE COORDINATED BY THE CONTRACTOR WITH THE RESPECTIVE UTILITY COMPANIES AND THE ARCHITECT/ENGINEER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS REQUIRED FOR WORKING WITHIN THE ROAD RIGHT-OF-WAY PRIOR TO COMMENCING CONSTRUCTION, WITHIN THESE AREAS.

ROOF WATER FROM THE BUILDING SHALL BE DIRECTED TO DRAIN TO THE PROVIDED LEADS. THE PROPOSED ELEVATIONS SHOWN ARE TOP OF WALK, TOP OF CURB, FINISHED ASPHALT SURFACE AND GUTTER PAN ELEVATIONS, UNLESS OTHERWISE NOTED.

ALL DRIVEWAY APPROACHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ISABELLA COUNTY ROAD COMMISSION STANDARDS.

CONSTRUCTION PROCEDURES SHALL CONFORM TO THE REQUIREMENTS OF THE STATE OF MICHIGAN, COUNTY OF ISABELLA AND UNION TOWNSHIP.

DIMENSIONS SHOWN ON THE PLANS ARE GIVEN TO THE BACK OF CURB, FACE OR BACK OF WALK OR THE BUILDING OUTSIDE LINES.

STANDARD PARKING SPACES SHALL BE 10 FEET BY 18 FEET. THE SPACES ARE TO BE INDICATED BY 4 INCH WIDE WHITE LINES. THE PAINT LINES ON THE SITE, EXCEPT NEAR THE BUILDING, SHALL CONFORM TO THE ENGINEER'S PLAN.

CONCRETE CURBING SHALL BE 4000 PSI CONCRETE.

ALL ABANDONED CURB STOP BOXES SHALL BE REMOVED AND SALVAGED FOR THE UNION TOWNSHIP DEPARTMENT OF PUBLIC WORKS.

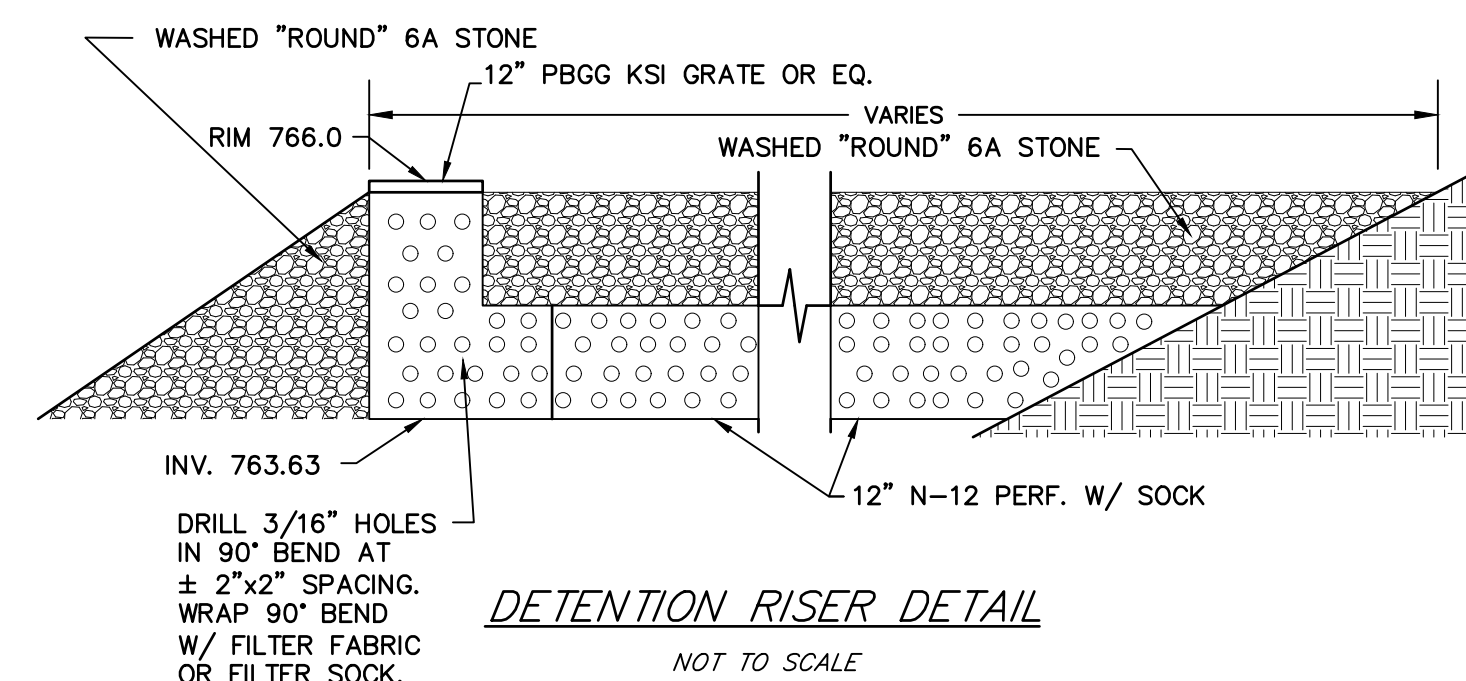
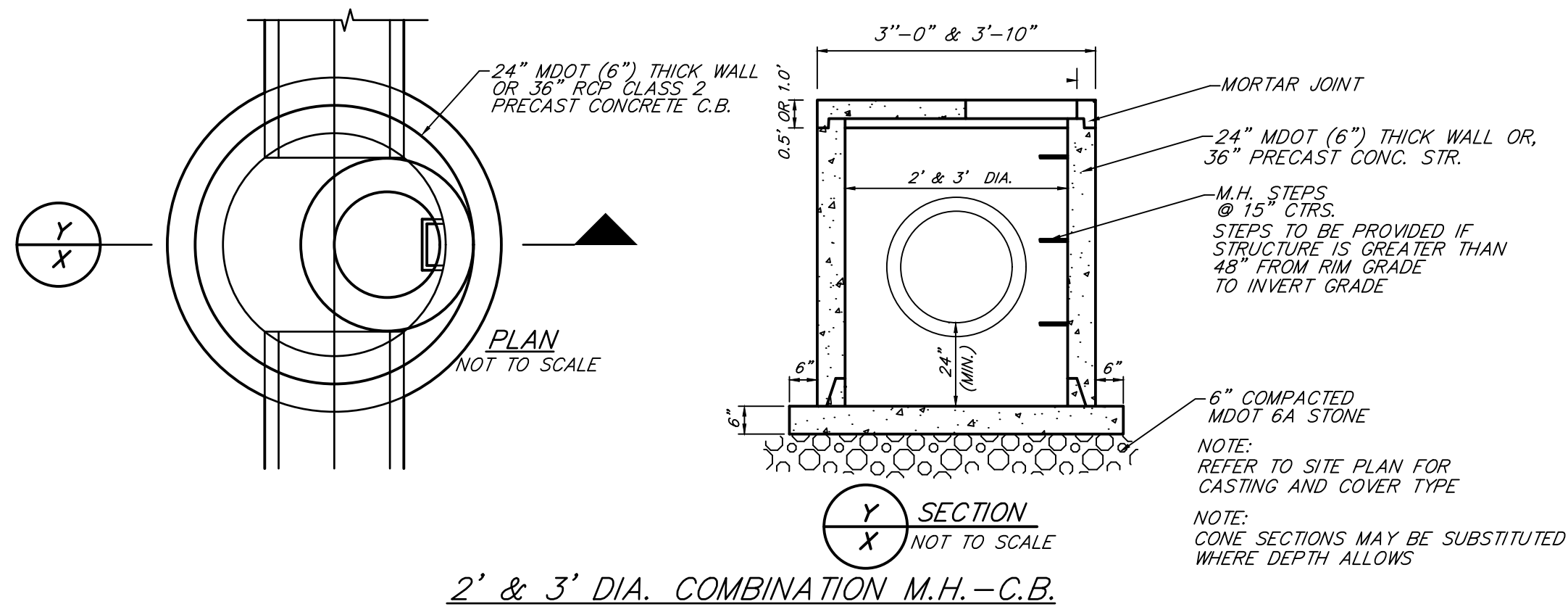
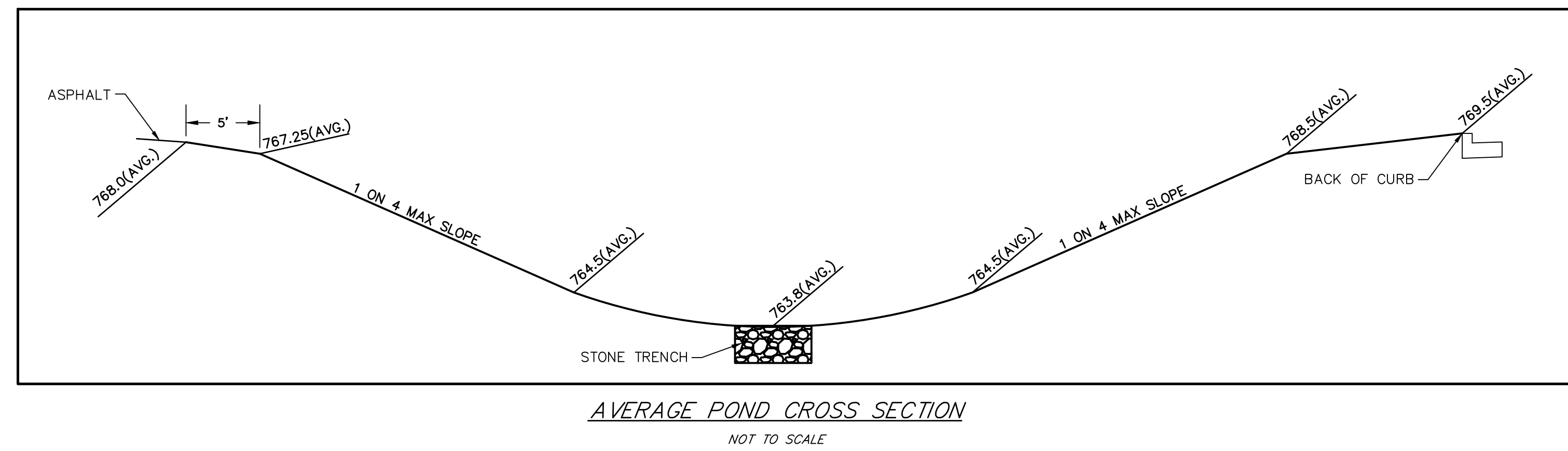
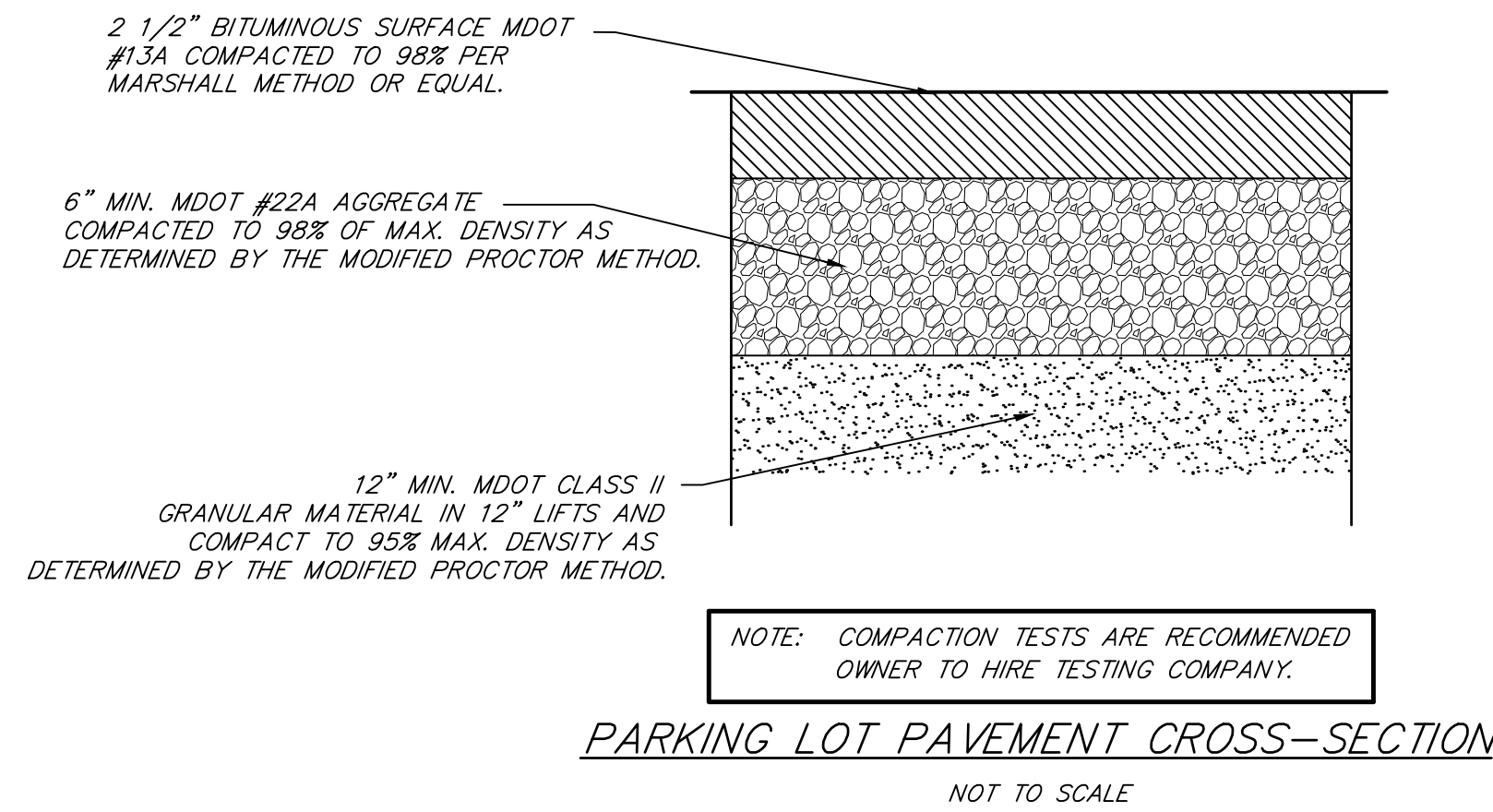
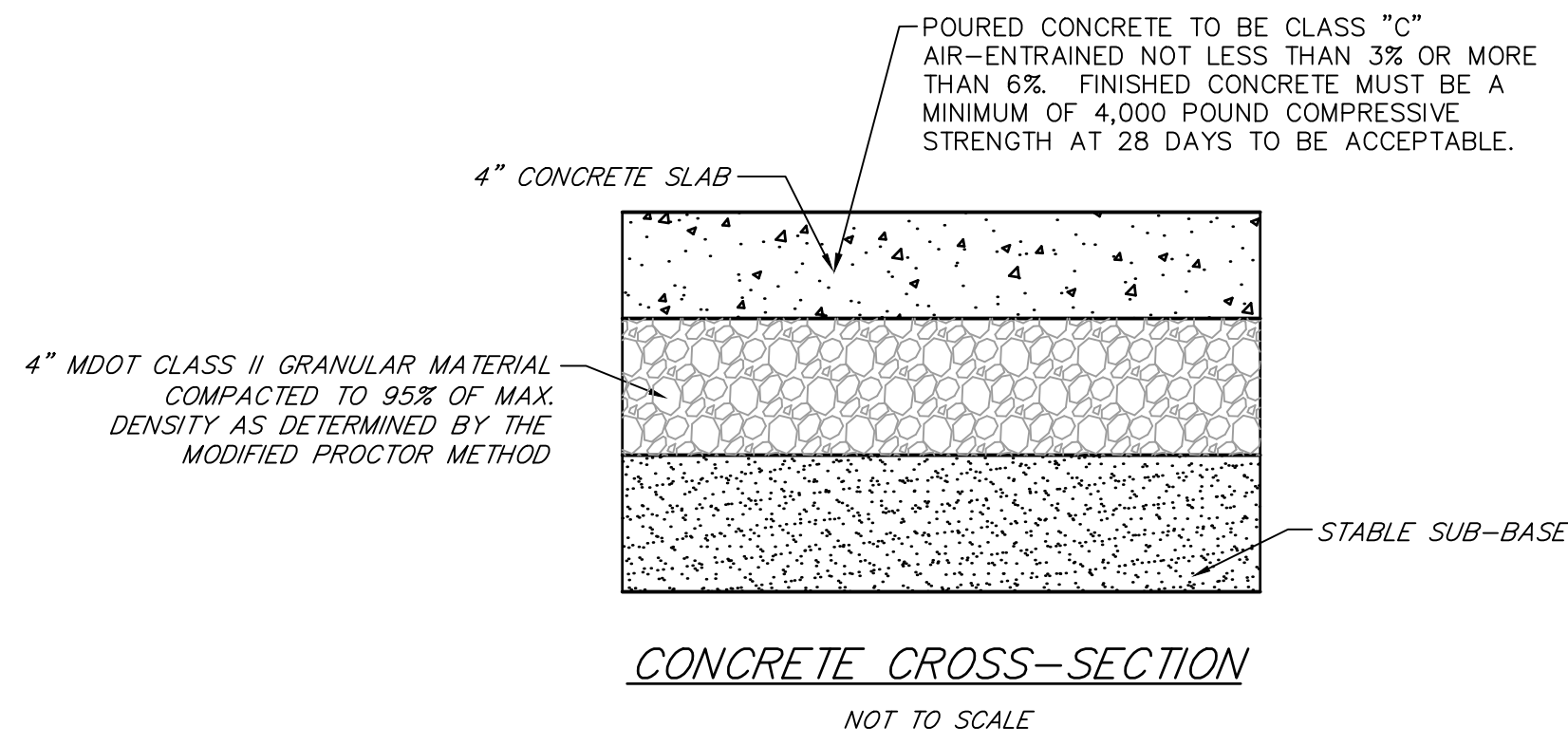


REVISIONS:	REVISIONS PER CLIENT 5-16-19
	REVISIONS PER MT. PLEASANT FIRE 5-13-19

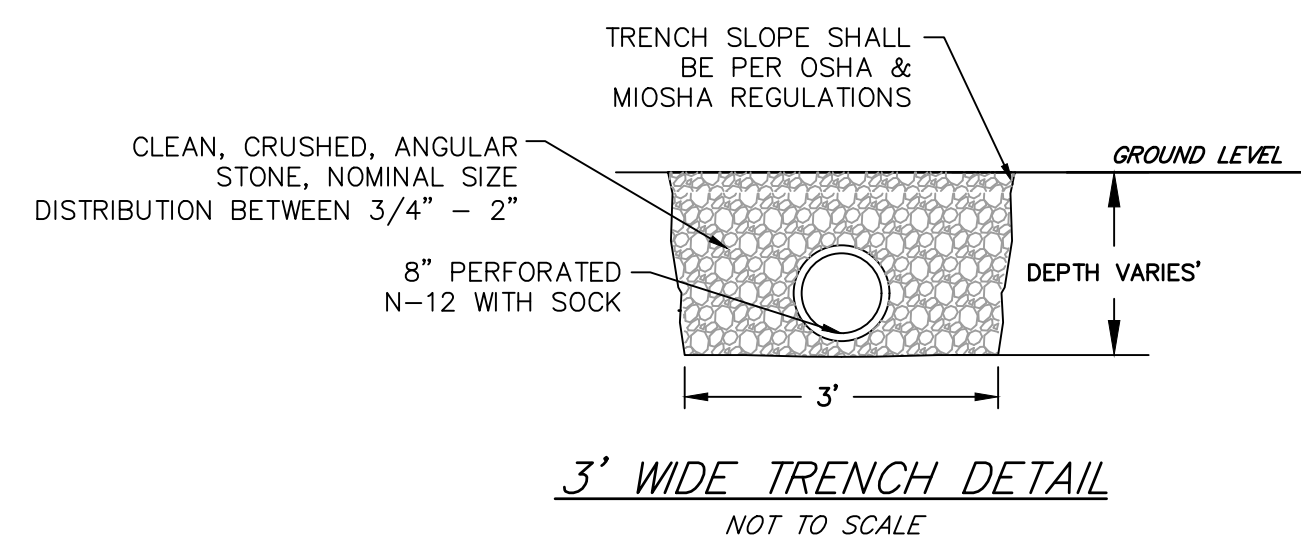
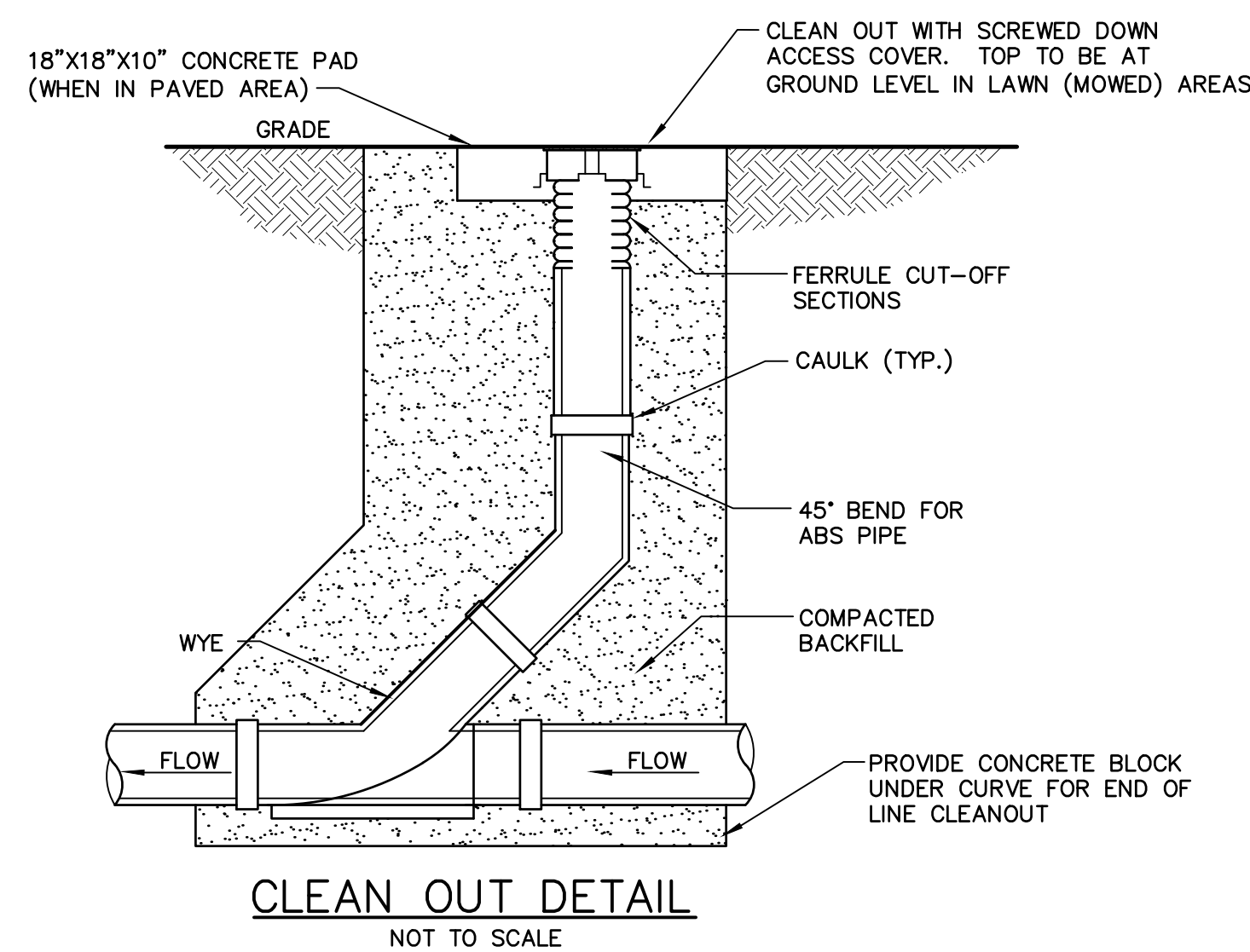
SUBMITTALS:	SUBMITTAL TO CLIENT 5-6-19
	SUBMITTAL TO MT. PLEASANT FIRE 6-6-19
	SUBMITTAL TO UNION TWP PLANNING 7-2-19

JOB NUMBER:	1901-005
DRAWN BY:	WRE
DESIGNED BY:	N/A
CHECKED BY:	TELB

SCALE:	1" = 20'
SHEET NUMBER:	6 OF 7

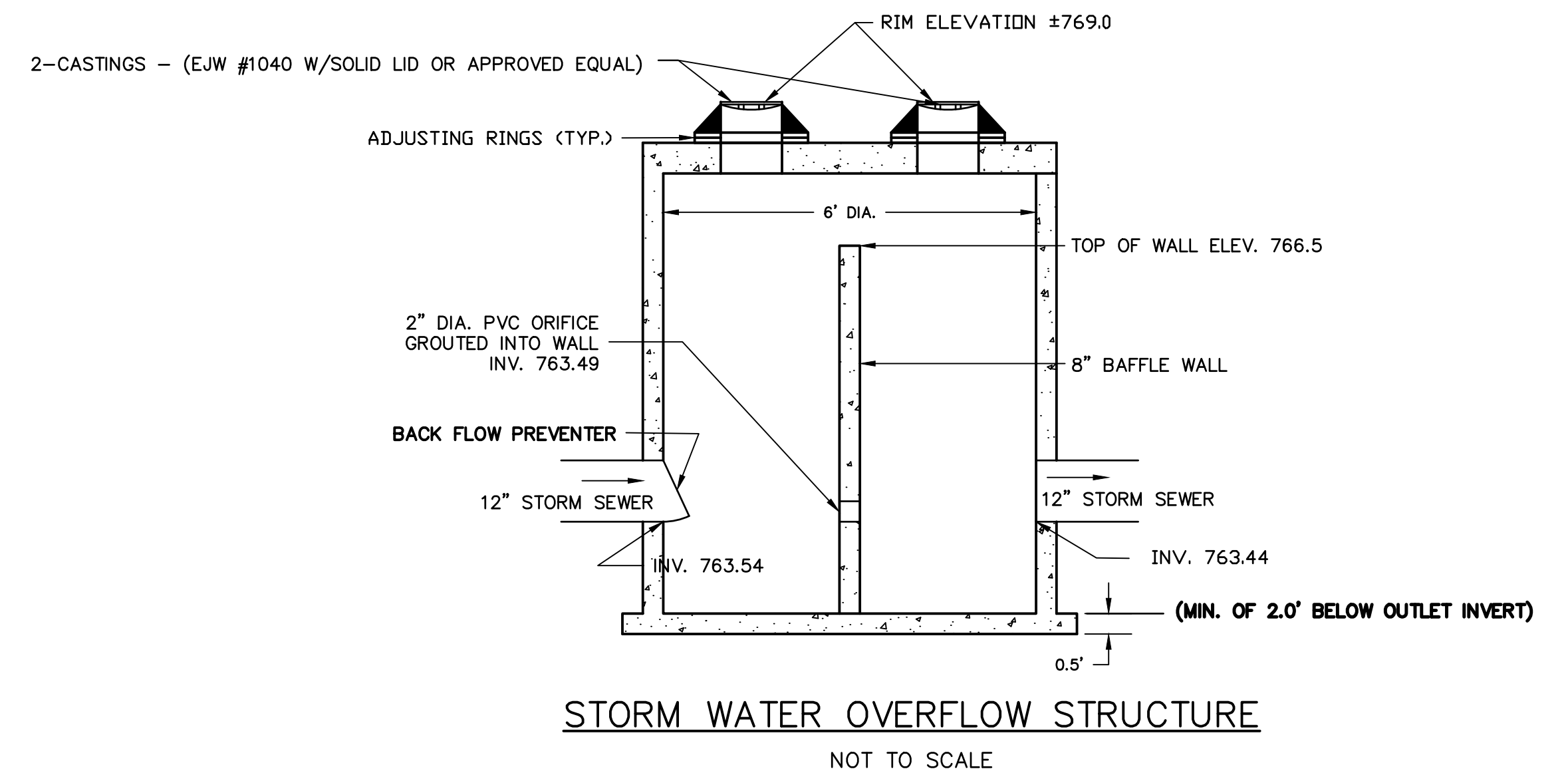


- BAFFLE WALL CONSTRUCTION NOTES**
1. Baffle wall to be constructed of 8" concrete block with smooth-raked joints.
 2. Epoxy #4 reinforcing bars into the sidewalls and base of the precast structure at 8" spacing. Bars are to extend across the entire width of the structure.
 3. Place #4 reinforcing bars in the baffle wall vertically at 12" spacings. The vertical bars to horizontal bars.
 4. Grout-fill all concrete block.
 5. Coat entire baffle wall with Xypex waterproofing or approved equal.



TRENCH WIDTH CHART

PIPE SIZE	MINIMUM	MAXIMUM
8" & 10"	24"	30"
12" & 15"	30"	36"
18"	34"	40"
21"	38"	42"
24"	42"	46"
27"	45"	49"
30"	49"	53"
36"	56"	60"
LARGER THAN 36"	I.D. +20"	I.D. +24"



REVISIONS:
REVISIONS PER CLIENT 5-16-19
REVISIONS PER MT. PLEASANT FIRE 5-13-19

SUBMITTALS:
SUBMITTAL TO CLIENT 5-6-19
SUBMITTAL TO MT. PLEASANT FIRE 6-6-19
SUBMITTAL TO UNION TWP PLANNING 7-2-19

JOB NUMBER:
1901-005
DRAWN BY:
WRE
DESIGNED BY:
N/A
CHECKED BY:
TELB

SCALE:
1" = 20'
SHEET NUMBER:
7 OF 7